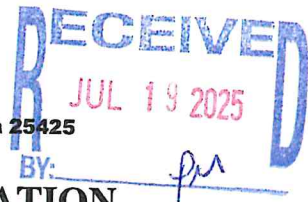


# Corporation of Harpers Ferry

Listed on the National Registry of Historic Places

1000 W Washington Street • P.O. Box 217 • Harpers Ferry, West Virginia 25425  
304-535-2206 • Fax: 304-535-6520



## ZONING COMPLIANCE PERMIT APPLICATION

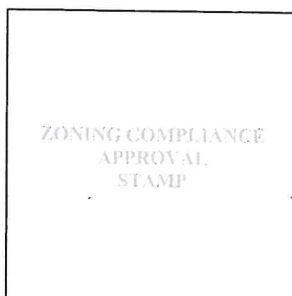
<b>Applicant</b>	Name <u>Stephen Sherry &amp; G. Greg Dean</u> Mailing Address <u>PO Box 1014</u> City <u>Harpers Ferry</u> State <u>WV</u> Zip <u>25425</u> E-Mail <u>steve.t.sherry@gmail.com</u> Daytime Telephone <u>301-312-7539</u> Evening Telephone <u>301-312-7539 (cell)</u>	I hereby certify that (1) I am the owner or that I have the authority of the owner to make application, (2) I have read and understand the accompanying instructions, (3) the information given is correct and (4) all provisions of state and municipal laws and ordinances governing this application will be complied with, whether specified herein or not. I understand that Town staff may (1) visit and photograph the subject property, (2) perform reasonable site inspections as required to determine compliance, and (3) that this application, including all submitted documents and staff photos relating to this request, is public information and can be made available upon request. Further, I understand that any deviation from the application as requested requires the express written approval of the Ordinance Compliance Officer or the Mayor's designee. <u>Stephen Sherry</u> 6/29/2025 Signature of Applicant Date
	Name <u>Stephen Sherry &amp; G. Greg Dean</u> Mailing Address <u>PO Box 1014</u> City <u>Harpers Ferry</u> State <u>WV</u> Zip <u>25425</u> E-Mail <u>steve.t.sherry@gmail.com</u> Daytime Telephone <u>301-312-7539 (cell)</u> Evening Telephone <u>301-312-7539 (cell)</u>	
<b>Contractor</b>	Company Name <u>J. Homans Construction</u> Contact <u>Jimmy Homans</u> Mailing Address <u>555 Olympic Drive</u> City <u>Martinsburg</u> State <u>WV</u> Zip <u>25404</u> E-Mail <u>jhomans11@yahoo.com</u> Daytime Telephone <u>304-886-4110 cell</u> Evening Telephone _____	All building contractors and sub-contractors are required to have Corporation of Harpers Ferry and State of West Virginia business licenses while working in the Town of Harpers Ferry and to remit required B&O tax for work performed (Article 735). <u>WV052801</u> WV License Number Harpers Ferry License Number Will subcontractors be involved? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (contact information and license information must be provided for all subcontractors on a separate sheet)
<b>Property</b>	Street Address <u>156 Public Way</u> Block and Lot Number(s) <u>Wager Reservation Lot 45</u> Total Acreage/Lot Size _____ Existing Zoning <input checked="" type="checkbox"/> Residential District <input type="checkbox"/> Business District Are there buried utilities or easements on the property? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (When a plat is required, please show all easements)	
<b>Description of Work</b>	Please check all of the following that apply to this project: <input type="checkbox"/> New construction (creates new structures) <input type="checkbox"/> Enlargement/On-Site Relocation (enlarges or moves an existing structure) <input type="checkbox"/> Demolition/Off-Site Relocation (removes existing structures) <input checked="" type="checkbox"/> Alteration/Reconstruction (changes in exterior materials, design or existing appearance from a street or public way) <input type="checkbox"/> Disturbs 5,000 sq. ft. of land or more	Briefly describe the work to be performed <u>To replace front porch, retaining style, but with roof extended to cover porch. Square columns,</u> <u>hand-rails and ballusters to match rear porch in style of Harper House. Replace doors and windows</u> <u>to match the rest of the house. Replace metal roof (in kind) with entry hatch on rear wing.</u> <u>Extend chimney 8"-12" and cover with metal cap in the style of Harper House.</u>

Date Received 7-19-25  
Fees Paid \$2095.00  
Deposits Paid 7-30-25

Received By KH  
Receipt Number 7920959  
BZA Case Number \_\_\_\_\_

### For Official Use Only

- ☐ Within Historic District Overlay (Part 13 App. A) ☐ Contributing Structure  
☐ Site Plan Required (1303.04(b))  
☐ Invokes Stormwater Management regulations (1713)  
☐ Within floodplain, floodway or other flood hazard area (1711, see map Town Hall)



Conditions of Approval \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
Rationale for Denial \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Application Number 2025-027

Rev. 03-2023

## 2025 Application – 156 Public Way – Primary façade / Front porch & roof rehabilitation

### Material List:

**Front Terrace and walk:** Cut stone, gravel, brick

**Porch framing:** pressure treated wood

**Porch Decking and handrails:** Wood, Sapele if available.

**Porch handrails:** cypress or cedar, painted

**Roofing:** 24g standing seam, steel

**Columns:** Wood, painted. Concrete footers,

**Gutters:** Copper, 4" round

**House Siding:** HardiPlank (smooth side out) to match existing sides and rear of house.

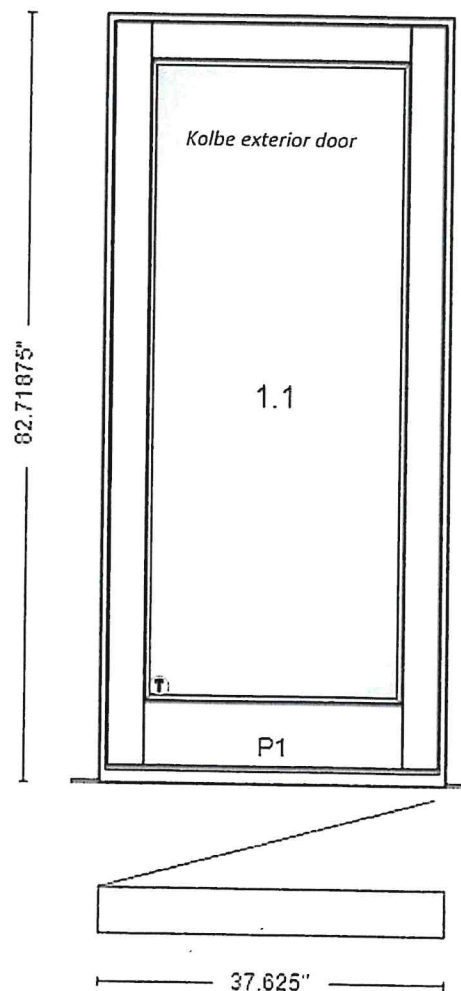
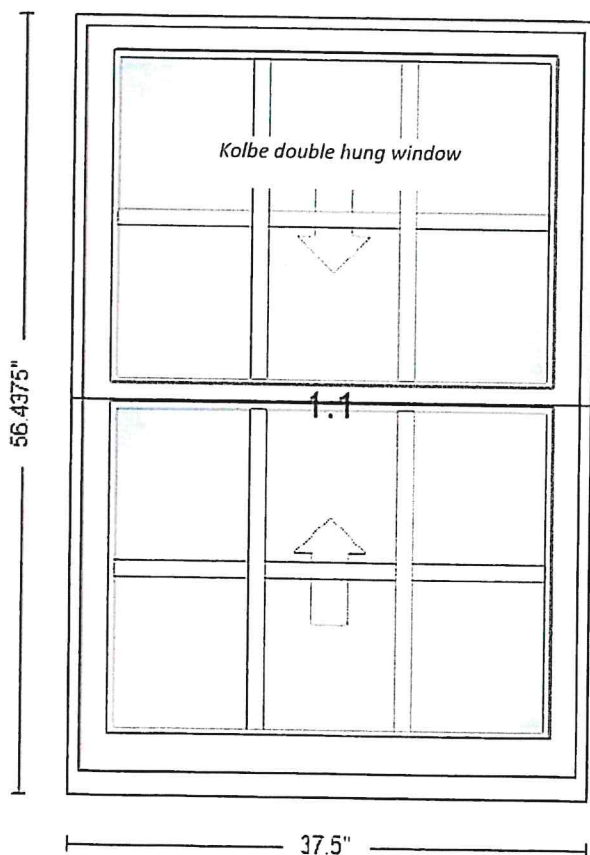
Wood

**Windows:** Kolbe Ultra Rectangle Double Hung. divide lite 6 over 6. Extruded metal sash. To match existing.

**Doors:** Kolbe Ultra Rectangle Exterior Swinging Door, Extruded metal sash. To match existing.

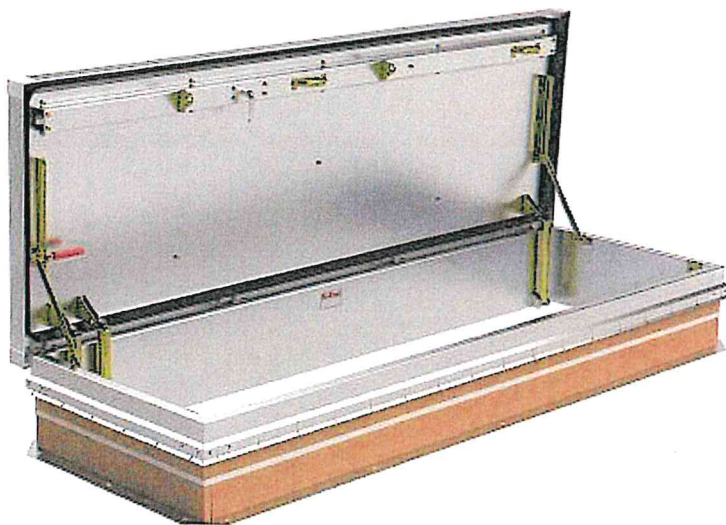
**Attic access hatch:** Bilco type L-50, aluminum. Painted to match roof.

**Chimney cap:** copper and still to match style of Harper House chimneys.



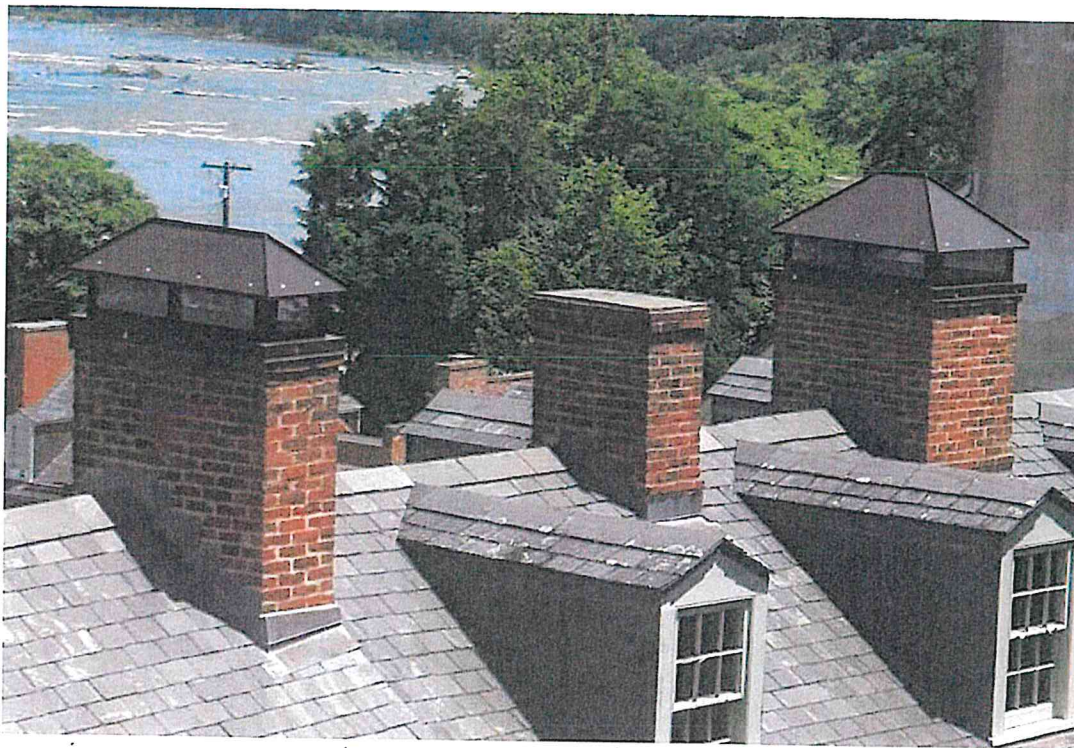


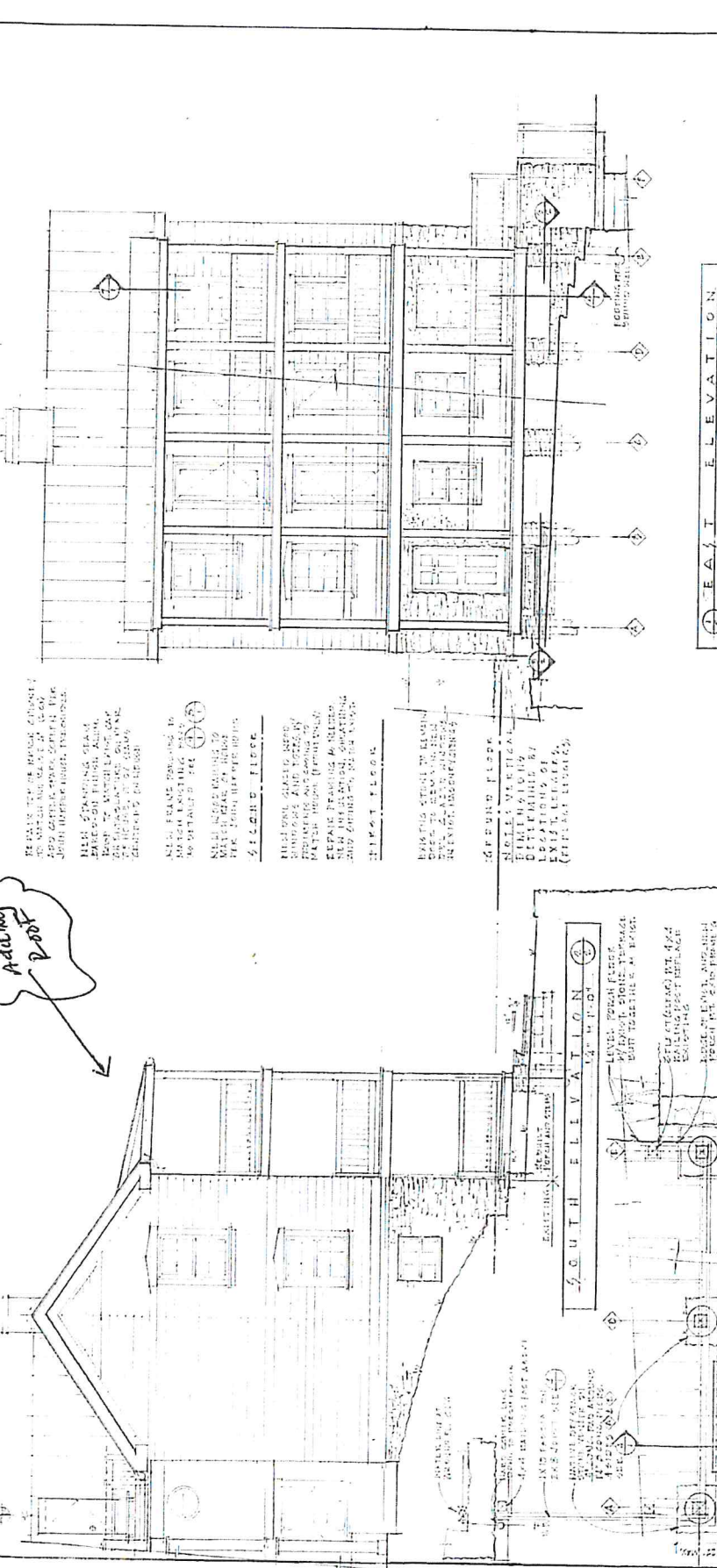
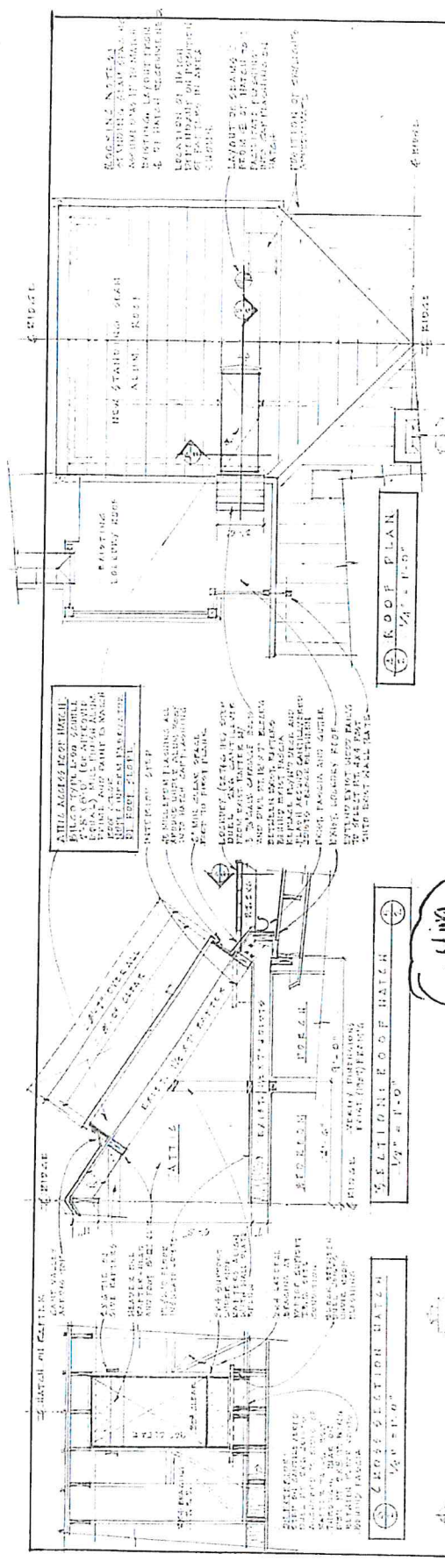
Bilco type L-50 attic access hatch. Aluminum. Painted to match roof color.



L-50

Chimney Cap Reference: copper and steel mesh.





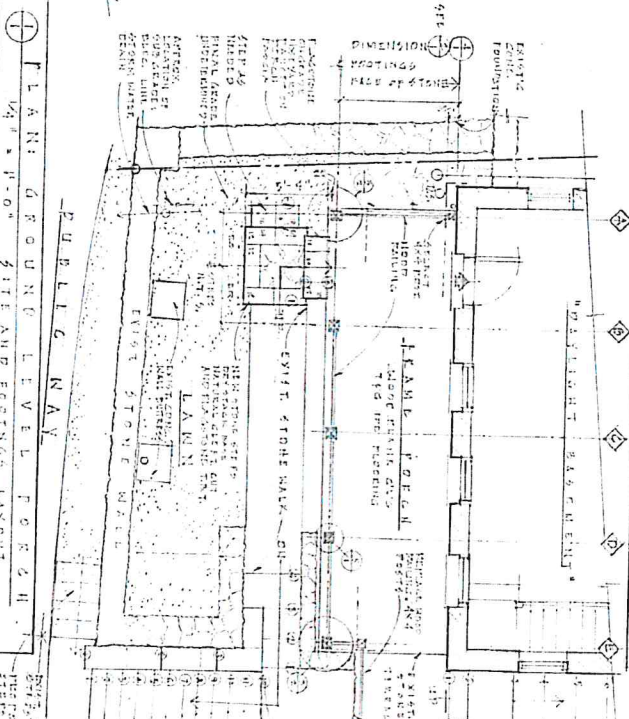
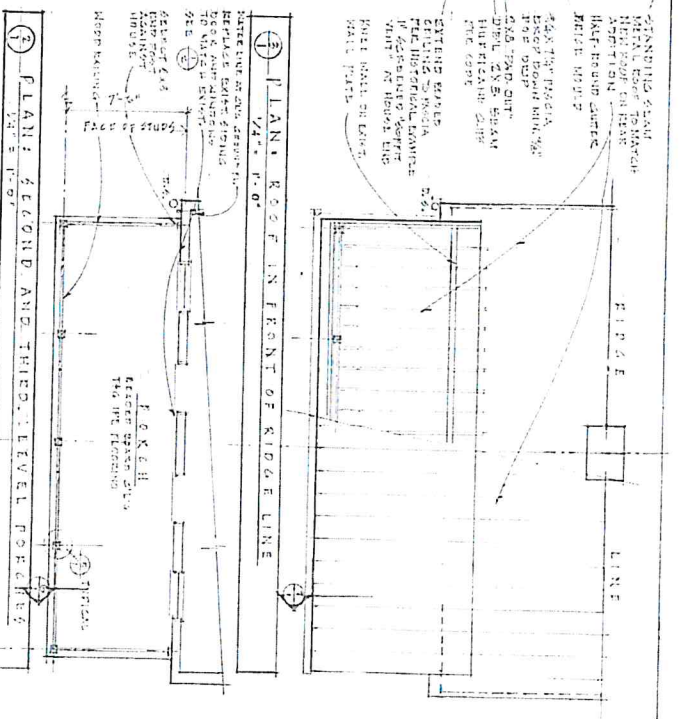
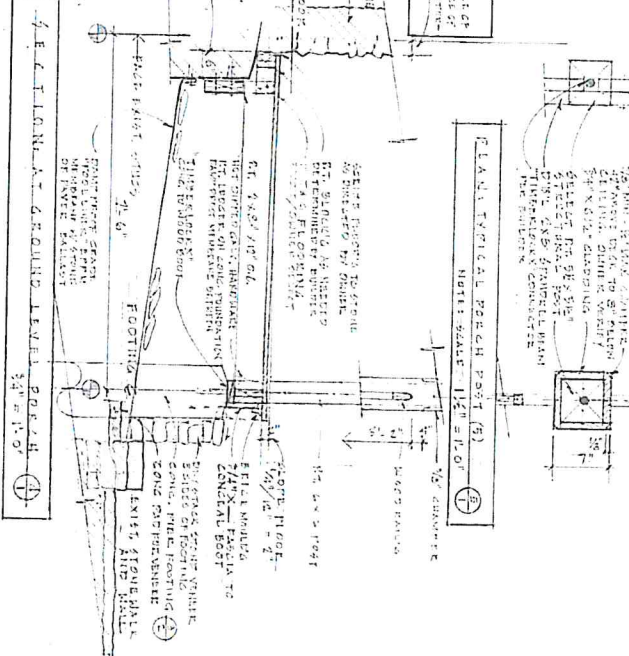
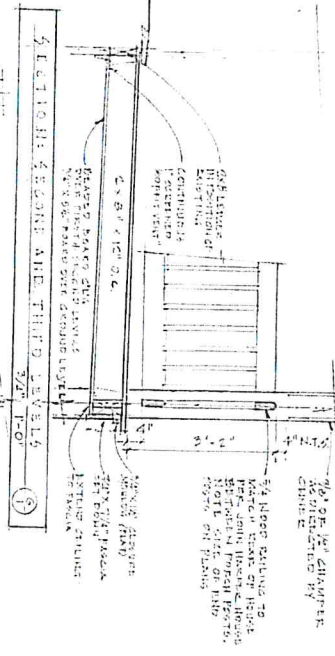
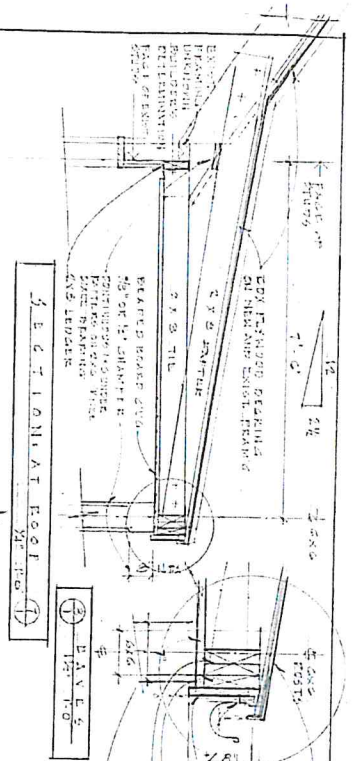
**EAST ELEVATION**  
1/4" = 1'-0"

**PROPOSED REHABILITATION OF FRONT PORCHES AND ROOF**

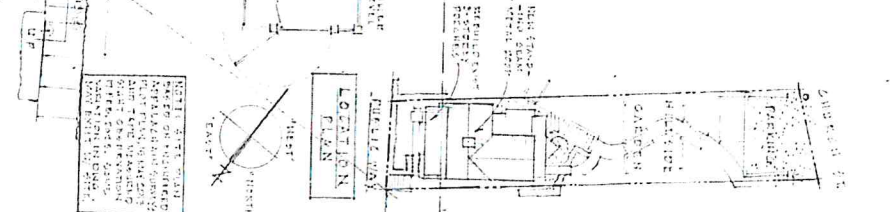
**PLAN DETAIL AT GRADE**  
1/4" = 1'-0"

**NOTES:**  
1. PLAN DETAIL AT GRADE SHALL BE 1/4" THICK GALVANIZED STEEL.  
2. PLAN DETAIL AT GRADE SHALL BE SUPPORTED BY 2" X 4" STUDS.  
3. PLAN DETAIL AT GRADE SHALL BE FASTENED TO STUDS WITH 1/2" X 4" BOLTS.  
4. PLAN DETAIL AT GRADE SHALL BE PAINTED WITH AN ANTI-RUST PAINT.  
5. PLAN DETAIL AT GRADE SHALL BE MAINTAINED IN GOOD REPAIR AT ALL TIMES.  
6. PLAN DETAIL AT GRADE SHALL BE REMOVED WHEN NOT IN USE.  
7. PLAN DETAIL AT GRADE SHALL BE REINSTALLED WHEN NOT IN USE.  
8. PLAN DETAIL AT GRADE SHALL BE KEPT CLEAN AND FREE OF DEBRIS.  
9. PLAN DETAIL AT GRADE SHALL BE KEPT CLOSED AT ALL TIMES.  
10. PLAN DETAIL AT GRADE SHALL BE KEPT LOCKED AT ALL TIMES.





KEY TO SYMBOLS
1. LANSING AND
2. DETAIL NUMBER
3. DISPOSITION, LOCATION, AND REMARKS
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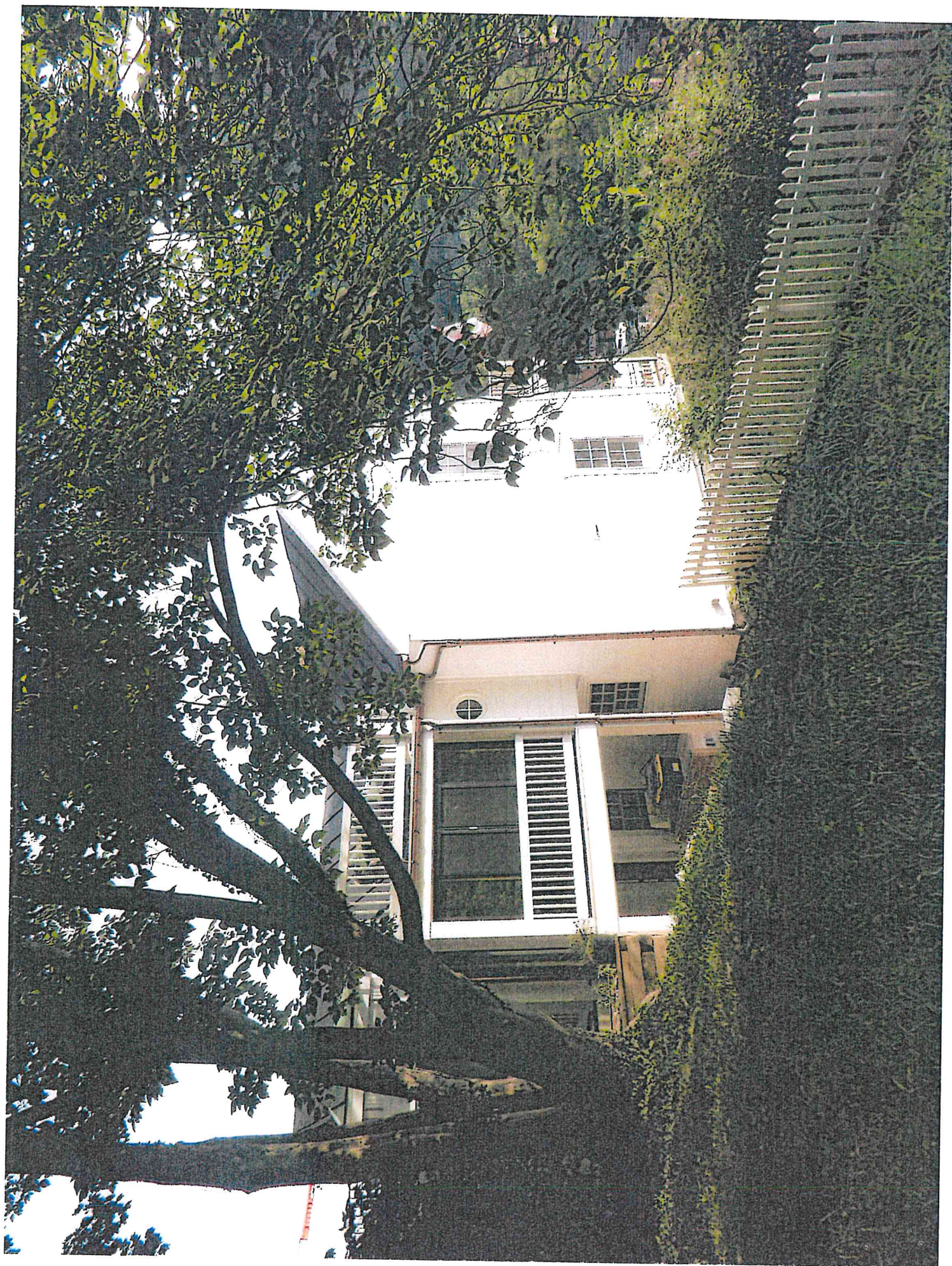


NOTE: VERTICAL DIMENSIONS REFERRED TO BY REFERENCE TO ELEVATION, EXCEPT WHERE SHOWN OTHERWISE, ARE IN FEET AND INCHES.

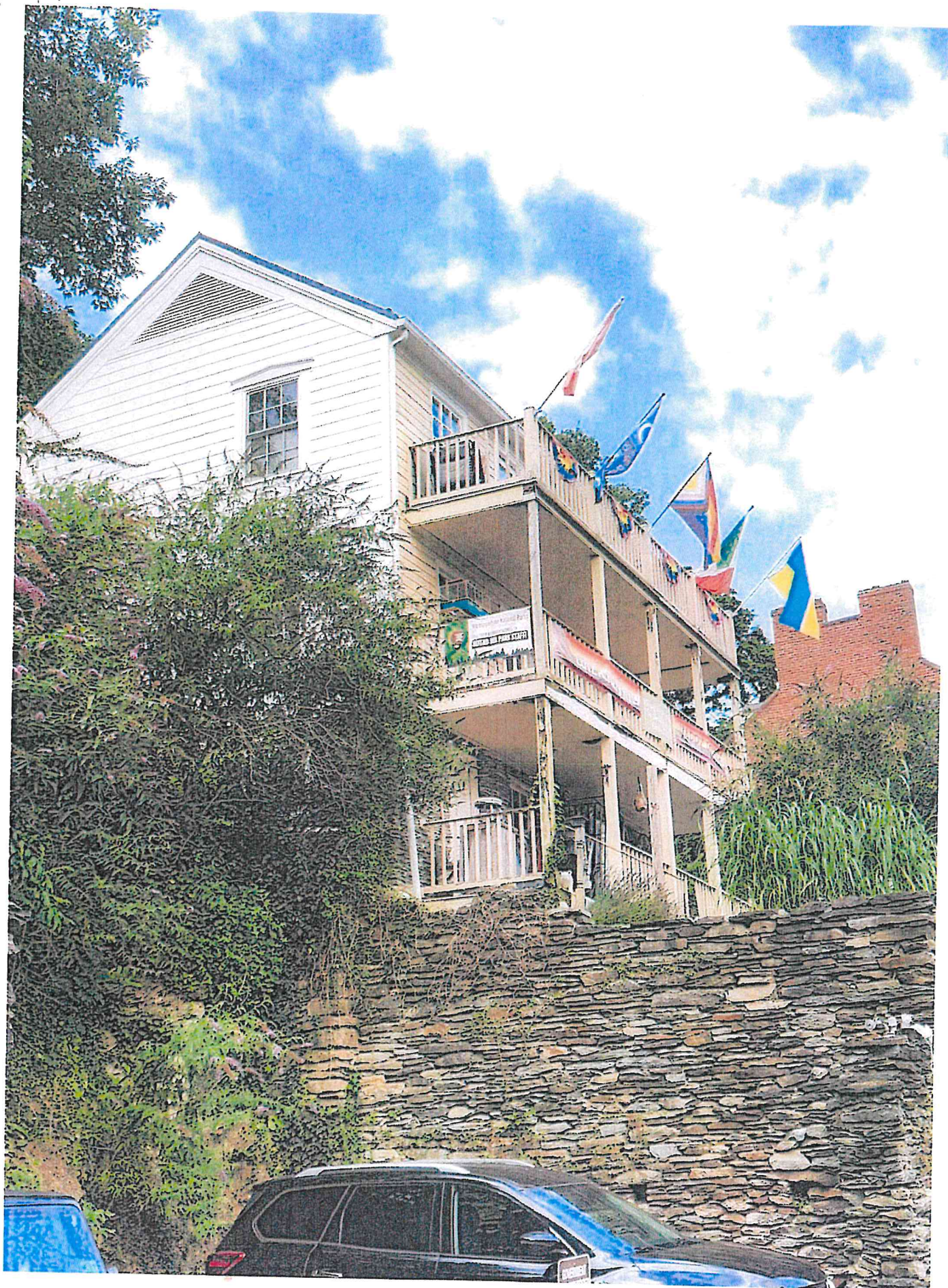
PROPOSED REHABILITATION OF FRONT PORCHES AND ROOF

1













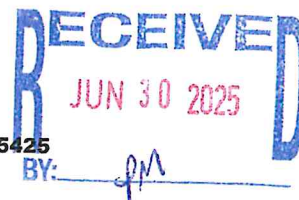


deacondave@stjameswv.org

# Corporation of Harpers Ferry

Listed on the National Registry of Historic Places

1000 W Washington Street • P.O. Box 217 • Harpers Ferry, West Virginia 25425  
304-535-2206 • Fax: 304-535-6520



## ZONING COMPLIANCE PERMIT APPLICATION

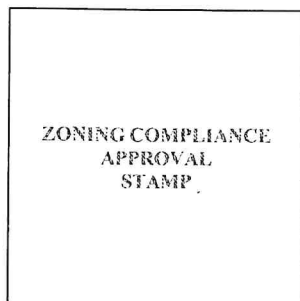
<b>Applicant</b>	Name <u>St. Peter's Catholic Church</u> Mailing Address <u>49 Crosswinds Dr.</u> City <u>Charles Town</u> State <u>WV</u> Zip <u>25414</u> E-Mail <u>payables@stjameswv.org</u> Daytime Telephone <u>304-725-5558</u> Evening Telephone <u>304-261-1798</u>	I hereby certify that (1) I am the owner or that I have the authority of the owner to make application, (2) I have read and understand the accompanying instructions, (3) the information given is correct and (4) all provisions of state and municipal laws and ordinances governing this application will be complied with, whether specified herein or not. I understand that Town staff may (1) visit and photograph the subject property, (2) perform reasonable site inspections as required to determine compliance, and (3) that this application, including all submitted documents and staff photos relating to this request, is public information and can be made available upon request. Further, I understand that any deviation from the application as requested requires the express written approval of the Ordinance Compliance Officer or the Mayor's designee. <u>Rev. Mr. David Salton</u> Signature of Applicant Date <u>6/19/25</u>
<b>Owner</b>	Name <u>St. James Catholic Church</u> Mailing Address <u>49 Crosswinds Dr.</u> City <u>Charles Town</u> State <u>WV</u> Zip <u>25414</u> E-Mail <u>payables@stjameswv.org</u> Daytime Telephone <u>304-725-5558</u> Evening Telephone <u>304-261-1798</u>	
<b>Contractor</b>	Company Name <u>BLACK STONE ROOFING, LLC</u> Contact <u>WESLEE TRIPLETT</u> Mailing Address <u>PO Box 510</u> City <u>Front Royal</u> State <u>VA</u> Zip <u>22630</u> E-Mail <u>T@BLACKSTONEROOFING.ORG</u> Daytime Telephone <u>540-550-9703</u> Evening Telephone _____	All building contractors and sub-contractors are required to have Corporation of Harpers Ferry and State of West Virginia business licenses while working in the Town of Harpers Ferry and to remit required B&O tax for work performed (Article 735). <u>WV058140</u> <u>22738258</u> WV License Number Harpers Ferry License Number Will subcontractors be involved? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (contact information and license information must be provided for all subcontractors on a separate sheet)
<b>Property</b>	Street Address <u>110 Church Street, Harpers Ferry, WV 25425</u> Block and Lot Number(s) <u>N/A</u> Total Acreage/Lot Size _____ Existing Zoning <input type="checkbox"/> Residential District <input type="checkbox"/> Business District Are there buried utilities or easements on the property? <input type="checkbox"/> No <input type="checkbox"/> Yes (When a plat is required, please show all easements)	
<b>Description of Work</b>	Please check all of the following that apply to this project: <input type="checkbox"/> New construction (creates new structures) <input type="checkbox"/> Enlargement/On-Site Relocation (enlarges or moves an existing structure) <input type="checkbox"/> Demolition/Off-Site Relocation (removes existing structures) <input checked="" type="checkbox"/> Alteration/Reconstruction (changes in exterior materials, design or existing appearance from a street or public way) <input type="checkbox"/> Disturbs 5,000 sq. ft. of land or more	Briefly describe the work to be performed <u>Upgrading the existing architectural shingle roof to a standing seam metal roof.</u> Current Roof: <u>Architectural Shingles</u> Proposed Roof: <u>24-gauge, 1" standing seam Galvalume metal with a 35-year Kynar finish</u> warranty. _____ _____ _____

Date Received 6-30-25  
Fees Paid 78.25  
Deposits Paid 1050.-

Received By PM  
Receipt Number 101300  
BZA Case Number \_\_\_\_\_

### For Official Use Only

- ☐ Within Historic District Overlay (Part 13 App. A) ☐ Contributing Structure  
☐ Site Plan Required (1303.04(b))  
☐ Invokes Stormwater Management regulations (1713)  
☐ Within floodplain, floodway or other flood hazard area (1711, see map Town Hall)



Conditions of Approval \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
Rationale for Denial \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Application Number 2025-026

Rev. 03-2023

## SUPPORTING DOCUMENTATION

<b>The following are required of all Zoning Compliance Permit Applications unless administratively waived:</b>	<b>Provided</b>	<b>Not Provided (Waiver Sought)</b>	<b>Waiver approved when initialed and rationale provided below by Authorized Town Official</b>
Perspective drawings or photographs	<input type="checkbox"/>	<input type="checkbox"/>	
Exterior views and elevations drawn to scale (1/4" = 1 foot)	<input type="checkbox"/>	<input type="checkbox"/>	
Building materials list	<input type="checkbox"/>	<input type="checkbox"/>	
<b>The following are required of all Site Plans (1303.04(c)) unless administratively waived:</b>	<b>Provided</b>	<b>Not Provided (Waiver Sought)</b>	<b>Waiver approved when initialed and rationale provided below by Authorized Town Official</b>
Lot lines and easements	<input type="checkbox"/>	<input type="checkbox"/>	
Roof plan of building (i.e. view of building from above)	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing and proposed structures and permanent signs	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees 6" or greater diameter at breast height, indicating which trees are proposed to be removed and the area of disturbance (1104)	<input type="checkbox"/>	<input type="checkbox"/>	
Location of off-street parking and any loading spaces	<input type="checkbox"/>	<input type="checkbox"/>	
Location and dimensions of street and right-of-way dedications	<input type="checkbox"/>	<input type="checkbox"/>	
Location of points of entry and exits for vehicles and pedestrians and internal vehicle circulation patterns upon the property	<input type="checkbox"/>	<input type="checkbox"/>	
Location of any Fences and Retaining Walls and indication of their height and material of construction	<input type="checkbox"/>	<input type="checkbox"/>	
Location of exterior lighting devices	<input type="checkbox"/>	<input type="checkbox"/>	
Locations of all paved and Impervious Surfaces and Landscaped Areas	<input type="checkbox"/>	<input type="checkbox"/>	
Location of all new water and sewer taps and laterals	<input type="checkbox"/>	<input type="checkbox"/>	

Depending on the size and scope of project, the Board of Zoning Appeals may also require additional supporting documentation.

---

### For Official Use Only

**Authorized Town Official (person granting the waivers shown above and recording the inspections below)**

Name \_\_\_\_\_  
 Title \_\_\_\_\_  
 Signature \_\_\_\_\_  
 Date \_\_\_\_\_

Record of Inspections		
Inspection	Date Completed	Waived
Prior to all removals		<input type="checkbox"/>
Prior to placement of foundation or footers		<input type="checkbox"/>
When framing is completed		<input type="checkbox"/>
At project completion		<input type="checkbox"/>

Application Number 2025-026

Rev. 03-2023



**FEE SCHEDULE**

(1303.06)

Estimated Project Cost.....\$ 100,000

Application Fee .....\$ 25.00 (\$25/non-refundable)

Zoning Compliance Permit and/or Site Plan Fee \$ 1000.00 (\$10 for every

\$1,000.00) Inspection Fee<sup>1</sup>.....\$ 25.00 (see guidelines below)

Floodplain Review<sup>2</sup>.....\$ \_\_\_\_\_ (see guidelines below)

Stormwater Technical Review Fee<sup>3</sup>.....\$ \_\_\_\_\_ (\$25 administrative fee; \$2000 deposit)

Total amount of fees payable to the Town .....\$ 1050.00

**New Sewer Service**

Sewer Utility Service Fee payable to the Harpers Ferry Water Works

\$ \_\_\_\_\_ (applicant to consult with HF-B PSD)

Sewer Utility Tap Fee payable to the HF-B PSD

\$ \_\_\_\_\_ (\$350)

**New Water Service payable to the Harpers Ferry Water Works**

Capital Capacity Improvement Fee.....\$ \_\_\_\_\_ (see 905.04 Rate Schedule 3)

Water Utility Tap Fee .....\$ \_\_\_\_\_ (\$750)

If the Board of Zoning Appeals determines that a subject matter expert is required, additional fees may apply<sup>4</sup>. For projects greater than \$1.5 million, request Fee Schedule Addendum from Town Clerk. Zoning Compliance Permits are valid for two years. Upon written application to the Ordinance Compliance Officer or the Mayor's designee, extensions for permits about to expire may be granted. There is a fee of \$25.00 for each permit extension.

**<sup>1</sup> Guidelines for Inspection fees:**

- (A) For an application with an estimated project cost less than \$500.00, the inspection fee is \$25.00 per inspection (maximum three inspections);
- (B) For an application with an estimated project cost from \$500.00 to \$2,000.00, the inspection fee is 0.05 times the estimated project cost per inspection (maximum three inspections);
- (C) For an application with an estimated project cost of over \$2,000.00, the inspection fee is \$100.00 per inspection (maximum three inspections);

A minimum deposit for two inspections is required at the time of application. For complex projects, additional inspections may be required, but a maximum deposit for no more than three inspections may be required at the time of application. Inspections for compliance with the permit application are required (1) prior to all removals, (2) prior to placement of foundation or footers, (3) when framing is completed, and (4) at project completion. Inspection fees are refunded for waived inspections.

**<sup>2</sup> Guidelines for Floodplain Review fees:**

An application for proposed development determined to be occurring in an identified floodplain, floodway or other flood hazard area must be accompanied by an additional fee based upon the estimated value of the proposed construction at the following rate:

Type of Development	Fee
1 & 2 family dwelling	\$1.00 per \$1,000.00
Accessory structures	\$1.00 per \$1,000.00
Any other structure	\$1.00 per \$1,000.00
Site plans, grading & filling (additional fee)	\$50.00 per acre or part thereof
Floodway development reviews	\$1.00 per \$1,000.00

The Floodplain Administrator may determine a different value for the proposed construction and apply the above rates for an adjusted fee amount.

**<sup>3</sup> Stormwater Technical Review Deposit**

If the cost of the technical review exceeds the initial \$2,000 deposit, an additional \$2,000 deposit will be required.

**<sup>4</sup> Guidelines for Deposits**

- (A) The Board of Zoning Appeals may require expert consultants to evaluate your application. If so, you will be informed in writing that such a deposit is required before approval can be made.
- (B) For an application within the floodplain, the Floodplain Administrator may require a deposit. If so, you will be informed in writing that such a deposit is required before approval can be made.

Application Number 2025-026

Rev. 03-2023

# Material List

**June 27, 2025**



PO Box 510, Front Royal, VA 22630  
(540) 686-0712

[www.blackstoneroofs.com](http://www.blackstoneroofs.com)

Ref: St. Peter's Catholic Church

## Roofing Panel Specifications

**Manufacturer:** McElroy Metal

**Panel Type:** Standing Seam Metal  
Roofing

### Material Details:

- **Metal Type:** 24-gauge

Galvalume steel

- **Finish:** Kynar 500® paint system
- **Color Warranty:** 35-year finish

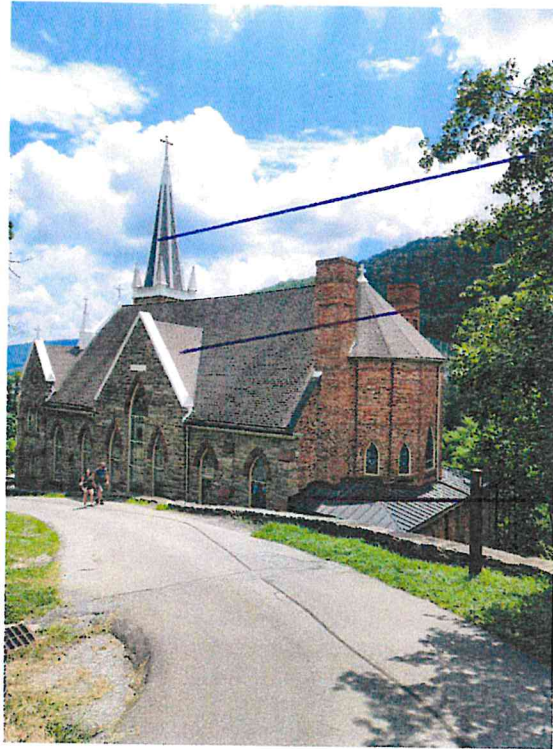
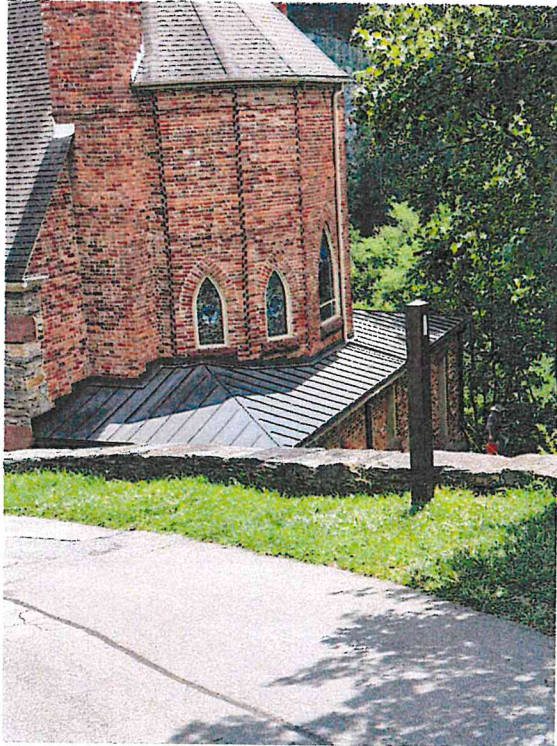
warranty

- **Panel Width:** 17 inches
- **Seam Height:** 1 inch tall seam

2025-026



7/9/25 – St. Peter's Church, Church Street, Harpers Ferry



— slate

— Asphalt

— standing  
slam

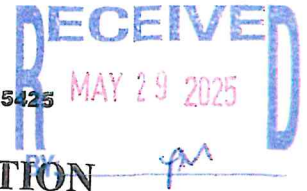
Zc PA 2025-026

Board

# Corporation of Harpers Ferry

Listed on the National Registry of Historic Places

1000 W Washington Street • P.O. Box 217 • Harpers Ferry, West Virginia 25425  
304-535-2206 • Fax: 304-535-6520



## ZONING COMPLIANCE PERMIT APPLICATION

<b>Applicant</b>	Name <u>Ehmer Builds, LLC</u> Mailing Address <u>36 Bakerton Rd.</u> City <u>Harpers Ferry</u> State <u>WV</u> Zip <u>25425</u> E-Mail <u>Ehmerbuilds@gmail.com</u> Daytime Telephone <u>304-671-4085</u> Evening Telephone _____	<p>I hereby certify that (1) I am the owner or that I have the authority of the owner to make application, (2) I have read and understand the accompanying instructions, (3) the information given is correct and (4) all provisions of state and municipal laws and ordinances governing this application will be complied with, whether specified herein or not. I understand that Town staff may (1) visit and photograph the subject property, (2) perform reasonable site inspections as required to determine compliance, and (3) that this application, including all submitted documents and staff photos relating to this request, is public information and can be made available upon request. Further, I understand that any deviation from the application as requested requires the express written approval of the Ordinance Compliance Officer or the Mayor's designee.</p> <p><u>David Leonard</u> Signature of Applicant Date <u>5/29/25</u></p> <p>All building contractors and sub-contractors are required to have Corporation of Harpers Ferry and State of West Virginia business licenses while working in the Town of Harpers Ferry and to remit required B&amp;O tax for work performed (Article 735). WV048240 WV License Number <u>174</u> Harpers Ferry License Number _____ Will subcontractors be involved? <input type="checkbox"/> No <input type="checkbox"/> Yes (contact information and license information must be provided for all subcontractors on a separate sheet)</p>
<b>Owner</b>	Name <u>Ehmer Builds, LLC</u> Mailing Address <u>36 Bakerton Rd.</u> City <u>Harpers Ferry</u> State <u>WV</u> Zip <u>25425</u> E-Mail <u>Ehmerbuilds@gmail.com</u> Daytime Telephone <u>304-671-4085</u> Evening Telephone _____	
<b>Contractor</b>	Company Name <u>Brickstreet Homes, LLC</u> Contact <u>David Leonard</u> Mailing Address <u>36 Bakerton Rd.</u> City <u>Harpers Ferry</u> State <u>WV</u> Zip <u>25425</u> E-Mail <u>david.brickstreet@gmail.com</u> Daytime Telephone <u>304-671-4085</u> Evening Telephone _____	
<b>Property</b>	Street Address _____ Block and Lot Number(s) <u>BLK LL Lot #4</u> Total Acreage/Lot Size <u>.19 Acre</u> Existing Zoning <input checked="" type="checkbox"/> Residential District <input type="checkbox"/> Business District Are there buried utilities or easements on the property? <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes (When a plat is required, please show all easements)	
<b>Description of Work</b>	<p>Please check all of the following that apply to this project:</p> <p><input checked="" type="checkbox"/> New construction (creates new structures) <input type="checkbox"/> Enlargement/On-Site Relocation (enlarges or moves an existing structure) <input type="checkbox"/> Demolition/Off-Site Relocation (removes existing structures) <input type="checkbox"/> Alteration/Reconstruction (changes in exterior materials, design or existing appearance from a street or public way) <input type="checkbox"/> Disturbs 5,000 sq. ft. of land or more</p> <p>Briefly describe the work to be performed</p> <p><u>Build a single family residence on the lot</u></p>	

Date Received 5-29-25  
Fees Paid 2415.00  
Deposits Paid 711.25

Received By PM  
Receipt Number 0000599  
BZA Case Number \_\_\_\_\_

### For Official Use Only

- ☐ Within Historic District Overlay (Part 13 App. A) ☐ Contributing Structure  
☐ Site Plan Required (1303.04(b))  
☐ Invokes Stormwater Management regulations (1713)  
☐ Within floodplain, floodway or other flood hazard area (1711, see map Town Hall)

Conditions of Approval \_\_\_\_\_

Rationale for Denial \_\_\_\_\_

Application Number 2025-018



## SUPPORTING DOCUMENTATION

The following are required of all Zoning Compliance Permit Applications unless administratively waived:	Provided	Not Provided (Waiver Sought)	Waiver approved when initialed and rationale provided below by Authorized Town Official
Perspective drawings or photographs	<input type="checkbox"/>	<input type="checkbox"/>	
Exterior views and elevations drawn to scale (1/4" = 1 foot)	<input type="checkbox"/>	<input type="checkbox"/>	
Building materials list	<input type="checkbox"/>	<input type="checkbox"/>	
The following are required of all Site Plans (1303.04(c)) unless administratively waived:	Provided	Not Provided (Waiver Sought)	Waiver approved when initialed and rationale provided below by Authorized Town Official
Lot lines and easements	<input type="checkbox"/>	<input type="checkbox"/>	
Roof plan of building (i.e. view of building from above)	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing and proposed structures and permanent signs	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees 6" or greater diameter at breast height, indicating which trees are proposed to be removed and the area of disturbance (1104)	<input type="checkbox"/>	<input type="checkbox"/>	
Location of off-street parking and any loading spaces	<input type="checkbox"/>	<input type="checkbox"/>	
Location and dimensions of street and right-of-way dedications	<input type="checkbox"/>	<input type="checkbox"/>	
Location of points of entry and exits for vehicles and pedestrians and internal vehicle circulation patterns upon the property	<input type="checkbox"/>	<input type="checkbox"/>	
Location of any Fences and Retaining Walls and indication of their height and material of construction	<input type="checkbox"/>	<input type="checkbox"/>	
Location of exterior lighting devices	<input type="checkbox"/>	<input type="checkbox"/>	
Locations of all paved and Impervious Surfaces and Landscaped Areas	<input type="checkbox"/>	<input type="checkbox"/>	
Location of all new water and sewer taps and laterals	<input type="checkbox"/>	<input type="checkbox"/>	

Depending on the size and scope of project, the Board of Zoning Appeals may also require additional supporting documentation.

### For Official Use Only

**Authorized Town Official (person granting the waivers shown above and recording the inspections below)**

Name \_\_\_\_\_  
 Title \_\_\_\_\_  
 Signature \_\_\_\_\_  
 Date \_\_\_\_\_

Record of Inspections		
Inspection	Date Completed	Waived
Prior to all removals		<input type="checkbox"/>
Prior to placement of foundation or footers		<input type="checkbox"/>
When framing is completed		<input type="checkbox"/>
At project completion		<input type="checkbox"/>

Application Number 2025 - 018

# FEE SCHEDULE

(1303.06)

Estimated Project Cost.....\$ 209,000

Application Fee .....\$ 25.00 (\$25/non-refundable)

Zoning Compliance Permit and/or Site Plan Fee \$ 2,000.00 (\$10 for every

\$1,000.00) Inspection Fee<sup>1</sup>.....\$ 200.00 (see guidelines below)

Floodplain Review<sup>2</sup>.....\$ --- (see guidelines below)

Stormwater Technical Review Fee<sup>3</sup>.....\$ --- (\$25 administrative fee; \$2000 deposit)

Total amount of fees payable to the Town .....\$ 2,415.00

New Sewer Service

Sewer Utility Service Fee payable to the Harpers Ferry Water Works

\$ --- (applicant to consult with HF-B PSD)

Sewer Utility Tap Fee payable to the HF-B PSD

\$ --- (\$350)

New Water Service payable to the Harpers Ferry Water Works

Capital Capacity Improvement Fee.....\$ --- (see 905.04 Rate Schedule 3)

Water Utility Tap Fee .....\$ --- (\$750)

If the Board of Zoning Appeals determines that a subject matter expert is required, additional fees may apply<sup>4</sup>. For projects greater than \$1.5 million, request Fee Schedule Addendum from Town Clerk. Zoning Compliance Permits are valid for two years. Upon written application to the Ordinance Compliance Officer or the Mayor's designee, extensions for permits about to expire may be granted. There is a fee of \$25.00 for each permit extension.

## <sup>1</sup> Guidelines for Inspection fees:

- (A) For an application with an estimated project cost less than \$500.00, the inspection fee is \$25.00 per inspection (maximum three inspections);
- (B) For an application with an estimated project cost from \$500.00 to \$2,000.00, the inspection fee is 0.05 times the estimated project cost per inspection (maximum three inspections);
- (C) For an application with an estimated project cost of over \$2,000.00, the inspection fee is \$100.00 per inspection (maximum three inspections);

A minimum deposit for two inspections is required at the time of application. For complex projects, additional inspections may be required, but a maximum deposit for no more than three inspections may be required at the time of application. Inspections for compliance with the permit application are required (1) prior to all removals, (2) prior to placement of foundation or footers, (3) when framing is completed, and (4) at project completion. Inspection fees are refunded for waived inspections.

## <sup>2</sup> Guidelines for Floodplain Review fees:

An application for proposed development determined to be occurring in an identified floodplain, floodway or other flood hazard area must be accompanied by an additional fee based upon the estimated value of the proposed construction at the following rate:

Type of Development	Fee
1 & 2 family dwelling	\$1.00 per \$1,000.00
Accessory structures	\$1.00 per \$1,000.00
Any other structure	\$1.00 per \$1,000.00
Site plans, grading & filling (additional fee)	\$50.00 per acre or part thereof
Floodway development reviews	\$1.00 per \$1,000.00

The Floodplain Administrator may determine a different value for the proposed construction and apply the above rates for an adjusted fee amount.

## <sup>3</sup> Stormwater Technical Review Deposit

If the cost of the technical review exceeds the initial \$2,000 deposit, an additional \$2,000 deposit will be required.

## <sup>4</sup> Guidelines for Deposits

- (A) The Board of Zoning Appeals may require expert consultants to evaluate your application. If so, you will be informed in writing that such a deposit is required before approval can be made.
- (B) For an application within the floodplain, the Floodplain Administrator may require a deposit. If so, you will be informed in writing that such a deposit is required before approval can be made.

Application Number 2025-018

Rev. 03-2023



## INSPECTIONS

To schedule an inspection, call the Town Hall during regular business hours. Please have the following information ready before calling to schedule an inspection:

1. Owner name, address and/or block & lot number.
2. Type of inspection requested (removal, foundation or footers, framing, or final)
3. Name and phone number of the person scheduling the inspection.

Inspections scheduled by close of a Town business day will be performed within the next two business days (48 hours).

NO APPOINTMENTS WILL BE MADE FOR INSPECTIONS.

ALL WORK SCHEDULED FOR INSPECTION MUST BE COMPLETED AND READY FOR INSPECTION BY 8:00 A.M. THE FOLLOWING DAY. INCOMPLETE WORK IS SUBJECT TO REJECTION AND PAYMENT OF A REINSPECTION FEE PRIOR TO RESCHEDULING OF THE INSPECTION.

TOWN INSPECTIONS DO NOT COVER FIRE, SAFETY OR BUILDING CODES. FOR THOSE INSPECTIONS NOT REQUIRED BY THE TOWN, WE STRONGLY RECOMMEND THAT THE APPLICANT ENLIST THE SERVICES OF A PROFESSIONAL INSPECTOR.



# INSTRUCTIONS

Provide the Zoning Compliance Permit Application form with all the information completely filled-in.

Please provide one printed copy of this application with all supporting documentation to Town Hall. An equivalent set should also be sent electronically.

The permit fee and any deposit amounts required (check or money order) are payable to the Corporation of Harpers Ferry must accompany the application before the application will be considered.

Your permit will be considered only after the Zoning Compliance Permit Application is complete and all applicable fees are paid. Allow approximately ten (10) business days for administrative review after all of the above items are received by this office. An application which cannot be approved administratively by the Ordinance Compliance Officer or Mayor's designee will be forwarded to the Board of Zoning Appeals. To avoid delay, we recommend that applications be submitted and paid in full by the first Monday of the month to be considered by the Commission(s).

The permit holder is required to pay any necessary Jefferson County impact fees directly to the county before the Corporation of Harpers Ferry will issue the applicant their final project permit. Proof of payment is required by the Town. The Jefferson County Department of Impact Fees may be reached at 304-728-3331.

Newly constructed homes require a "911 address" be assigned to them by Jefferson County. Information about 911 addresses may be obtained at 304-724-6759.

Block and lot numbers can be found on the S. Howell Brown maps in the Town Hall or at the county clerk's office in Charles Town. Tax map and parcel number can be found on the tax assessor's map. A parcel is composed of one or more lots. In the assessor's map, block numbers are shown in a dashed circle and lot numbers are in parentheses. The parcel number is inside a solid oval. Dashed lot lines indicate lots included in a larger parcel, bounded by solid lines. Deed book and page number can be found by clicking on the Jefferson County Document Inquiry link at <https://jeffersoncountyny.org>.

You must comply with the Historic District Standards and Guidelines (Part 13 Appendix A, copies available at Town Hall and on the Town website).

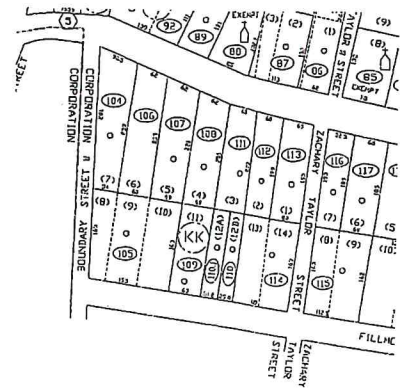
For Zoning Compliance Permit approval, a Site Plan is also required except for:

1. Projects approved at the administrative level by the Ordinance Compliance Officer or the Mayor's designee;
2. The relocation of any residential accessory building or structure less than 500 square feet in area and when such building or structure is relocated within 100 feet of its then existing location and on the same lot and is within setbacks; or
3. Projects where the existing footprint of the structure is not disturbed.

For all projects requiring a Site Plan and which are valued over \$100,000, you must comply with the Standards for Project Activities (Part 13 Appendix B, copies available at Town Hall and on the Town website).

The construction of one single-family residence, or additions or modifications to existing single-family residential structures are exempt from the Stormwater Management ordinance. However:

1. The property owner is responsible for preventing soil accumulation on the road surface as a result of the construction, addition, or modification.
2. The property owner must prevent sediment and runoff drainage from impacting neighboring properties as a result of the construction, addition, or modification.
3. By signing this application form, the applicant attests to the following: "In lieu of submission of a Stormwater Management Plan for the construction of this single-family dwelling, I agree to comply with any reasonable requirements determined necessary by employees of the Corporation of Harpers Ferry in accordance with published Harpers Ferry Standards for Construction Activities. Such requirements are based on the conservation standards contained in the Town's Stormwater Management Ordinance and represent the minimum practices necessary to provide adequate control of erosion and sedimentation on or resulting from the project. I further understand that failure to comply with such requirements following notice by the representatives of the Town could result in a citation for violation of the Stormwater Management Ordinance."





PLAT NORTH  
REFERENCE: D.B. 366 PG. 396

BENJAMIN BUCKLEY  
TAX MAP 4, PARCEL 1  
D.B. 1229 PG. 693  
ZONED: RHD

EX. SANITARY  
SEWER MAIN

BENJAMIN BUCKLEY  
TAX MAP 4, PARCEL 2  
D.B. 1227 PG. 346  
ZONED: RHD

JOSE JAVIER RODRIGUEZ  
TAX MAP 4, P/O PARCEL 5  
D.B. 1305 PG. 563  
(LOT 3)  
ZONED: RHD

UNITED STATES OF AMERICA  
TAX MAP 4, PARCEL 10  
D.B. 256 PG. 55  
NATIONAL PARK

### AREA TABULATION

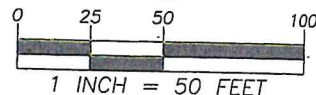
LOT 4	8,063 SQ.FT.
LOT 5	8,063 SQ.FT.
LOT 8	16,637 SQ.FT.
LOT 9	16,637 SQ.FT.
<b>TOTAL</b>	<b>49,400 SQ.FT.</b>



UNITED STATES OF AMERICA  
TAX MAP 4, PARCEL 10  
D.B. 256 PG. 55  
NATIONAL PARK

### LEGEND

RBF REBAR (FOUND)  
MON NPS MONUMENT  
IPF IRON PIPE (FOUND)  
CRBS SANITARY MANHOLE  
RHD CAPPED REBAR (SET)  
RESIDENTIAL/HISTORIC DISTRICT



DATE: 02-14-24  
REV.: 05-02-24  
DRAWN: JMR  
CHECKED: MSR  
SCALE: 1"=50'

**ROBERTS LAND SURVEYING**  
2068 PALMER ROAD - HEDGESVILLE, WV 25427  
304.671.5406  
miker002395@frontier.com

ZCPA  
2025-018



Lot 4  
Rear View



Lot 4  
Front View



ZOPA 2025-018



## **Exterior Finishes**

### **Roofing**

- **Architectural Shingles**
  - Ridge Vent System
  - Synthetic Roofing Underlayment
  - Drip Edge (aluminum)
  - Ice and Water Shield – Valleys and eaves

### **Siding**

- **LP SmartSide Lap Siding or Board and Batten** – Primed or prefinished
- Corner trim – PVC Boards

### **Windows**

- **Wood Clad Windows**
  - Single or Double pane, Low-E Argon filled
  - Nail flange or flange-less depending on installation method
  - Window flashing tape per manufacturer's instructions
  - **All window trim to be PVC trim**

### **Soffit & Fascia**

- **Vinyl Vented Soffit Panels** – White or color matched
- **Aluminum Fascia Trim** – Prefinished coils

### **Porch Elements**

- **Vinyl Porch Posts / Columns** – Load-bearing if structural
- Post skirts and top trim
- Pressure-treated framing under porch
- Composite or treated porch decking
- Aluminum railing to look like iron

ZCPA 2025-018



# Windows



## SOLD BY:

84 Lumber Company #0435 Ranson  
AP Dept Bldg #3 - 1019 Route 519  
Eighty Four, PA 15330-2813  
Fax: 919-790-6270

## SOLD TO:

CREATED DATE  
11/5/2024

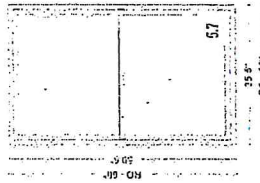
LATEST UPDATE  
11/7/2024

OWNER  
TRAVIS LAFOND

## Abbreviated Quote Report

QUOTE NAME PROJECT NAME QUOTE NUMBER CUSTOMER PO# TRADE ID  
MY SUPPLIES 3050 Unassigned Project 6690562

### ORDER NOTES:



### DELIVERY NOTES:

Item	Qty	Operation	Location
100	16	AA	None Assigned

RO Size: 36" x 60"

Unit Size: 35 1/2" x 59 1/2"

244DH3050, Unit, 200 Series Tilt-Wash Double-Hung, Equal Sash, 3 1/4" Frame Depth, White Exterior Frame, White Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, AA, Dual Pane Low-E Standard Argon Fill White (Factory Applied), White, Full Screen, Fiberglass Wrapping: 6 9/16" Interior Extension Jamb Pine / White - Vinyl Wrapped Standard Complete Unit Extension Jambs, Factory Applied

Insect Screen 1: 200 Series Tilt-Wash Double-Hung, 244DH3050 Full Screen Fiberglass White PN:0833332

Unit #	U-Factor	SHGC	ENERGY STAR Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.3	0.32	NO	32.5600	26.9500	6.09000

Quote #: 6690562

Print Date: 6/18/2025 3:51:23 PM UTC

All Images Viewed from Exterior



# Vented Soffiting

## CertainTeed Perimeter Soffit Panels - Triple 3-1/3 inch

★★★★★ (5) Review

Available in 15 Colors, Pricing only \$1.99

**CertainTeed** Click Here For a List of all CertainTeed Products

### Features

- Easy post-formed look design
- Provides a smooth, flat non-perforated surface versus most vented soffits with unsightly perforations
- Low glass covers that are Spectrophotometer controlled and utilize exclusive Perma-Glo color science
- Matte finish
- Class "A" fire rating
- Lifetime limited warranty

### PROPER VENTILATION IS VITAL

Proper ventilation is critical to the roofline under its fast drainage function. correct inside the house and energy savings.



### The Air Balance System

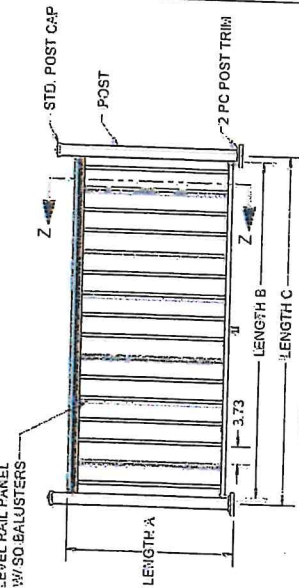
Exhausting the air from the house is the key to a balanced air flow. The air balance system is a system of air flow control devices that work together to create a balanced air flow throughout the house.



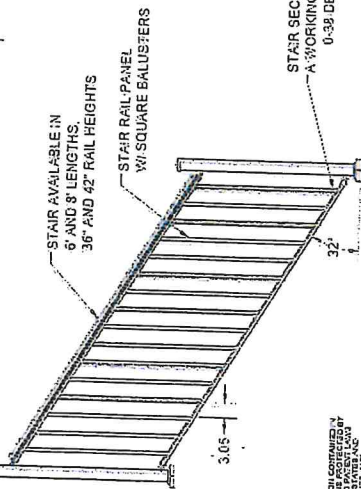


# Railing

## AVALON ALUMINUM RAIL AND BALUSTER DETAILS



SECTION Z-Z  
SCALE 1:15



NOTE:  
(A) FINISHED RAIL HEIGHT = 36", 42"  
(B) PANEL LENGTH = 71.5", 95.5"  
(C) MAX IRC AND IBC SPANS = 98.5"x36", 98.5"x42"

STAIR SECTIONS HAVE  
A WORKING RANGE OF  
0-38 DEGREES.

THIS INFORMATION CONTAINED IN  
THIS DOCUMENT IS UNCLASSIFIED  
DATE 08-11-2010 BY 60322 UCBAW  
UNCLASSIFIED DATE 08-11-2010 BY 60322 UCBAW  
UNCLASSIFIED DATE 08-11-2010 BY 60322 UCBAW



# Shingles

Color/Finish Family	Series Name	Dimensions
---------------------	-------------	------------

Manufacturer Color/Finish	Type	Material
---------------------------	------	----------

Dimensions	Shingle Length (Metric) (Centimeters)	Shingle Width (Metric) (Centimeters)	Shingle Length (Imperial) (Inches)	Shingle Width (Imperial) (Inches)	Shingle Length (Imperial) (Inches)
------------	---------------------------------------	--------------------------------------	------------------------------------	-----------------------------------	------------------------------------

Bundles per 100 Sq Feet	5	30.6			
Coverage Area per Package Quantity	53.33	18.5			
Coverage Area Under Hardware	Square Feet	53.33			
Shingle Length (Imperial) (Inches)	40				

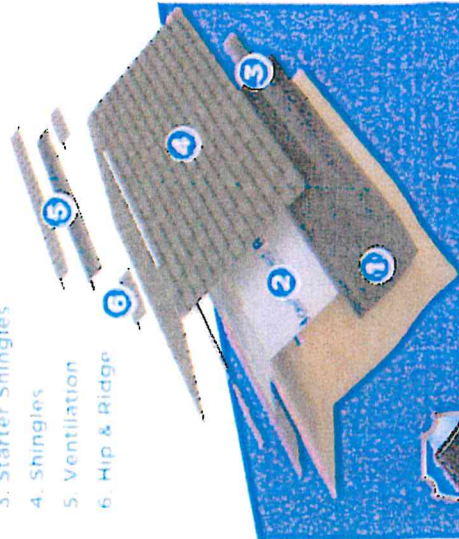
Features	Material	Package Type	Underlayment Required	Wind Rating (MPH)
----------	----------	--------------	-----------------------	-------------------

Algae Resistant	Yes	Yes	Yes	Yes
Approximate Surface Coverage	53.33 sq ft	Yes	Yes	Yes
Fire Rating	Class A	Yes	Yes	Yes
Impact Resistance	Yes	Yes	Yes	Yes
Laminated	Yes	Yes	Yes	Yes

## Integrity Roof System

Six-step to complete a professional quality roof system

1. Waterproof Underlayment
2. Water-Resistant Underlayment
3. Starter Shingles
4. Shingles
5. Ventilation
6. Hip & Ridge



Integrity





# Siding



## Application Instructions

38 AND 76 SERIES  
BRUSHED SMOOTH OR CEDAR TEXTURE  
PRIMED LAP SIDING

LOUISIANA PACIFIC CORPORATION PERIODICALLY UPDATES AND REVISES ITS PRODUCT INFORMATION AND APPLICATION INSTRUCTIONS. WARRANTY INFORMATION IS NOT APPLICABLE IF THESE APPLICATION INSTRUCTIONS ARE NOT FOLLOWED. THE INFORMATION IN THIS DOCUMENT IS SUBJECT TO CHANGE WITHOUT NOTICE.  
FIND ALL LP SMARTSIDE PRODUCT LITERATURE AT [LP.COM/SMARTSIDE](http://LP.COM/SMARTSIDE)

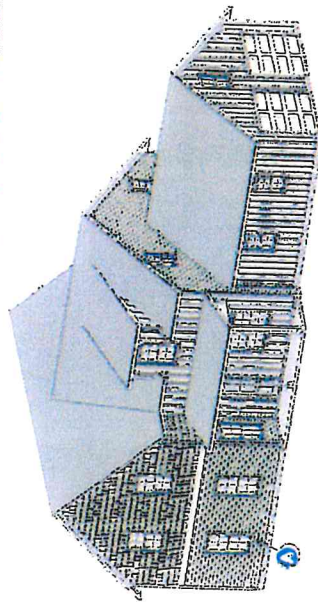
LP® SmartSide® Trim and Siding is covered under the LP® SmartSide® Limited 50-Year Limited Warranty. Refer to the warranty, which is available online, for complete terms and conditions. Product must be transported, stored, handled, installed, finished, and maintained in accordance with all published application, finishing, and maintenance instructions and technical notes and bulletins (collectively, "Instructions") in effect at the time of installation.

Failure to follow such Instructions will make the Limited Warranty inapplicable as to the products affected by such failure. No modification or exception to these Instructions and no non-published recommendations are valid unless issued in writing on a project-specific basis by LP's Director of Technology prior to application. Always check and comply with local building codes. Where conflicts occur among the Instructions, applicable codes, referenced standards, the designer of record, or an authority having jurisdiction, the most restrictive requirement shall apply. Regardless of sheathing type or configuration of wall assembly components, LP's liability for the performance of the product is limited as expressly provided in the Limited Warranty.

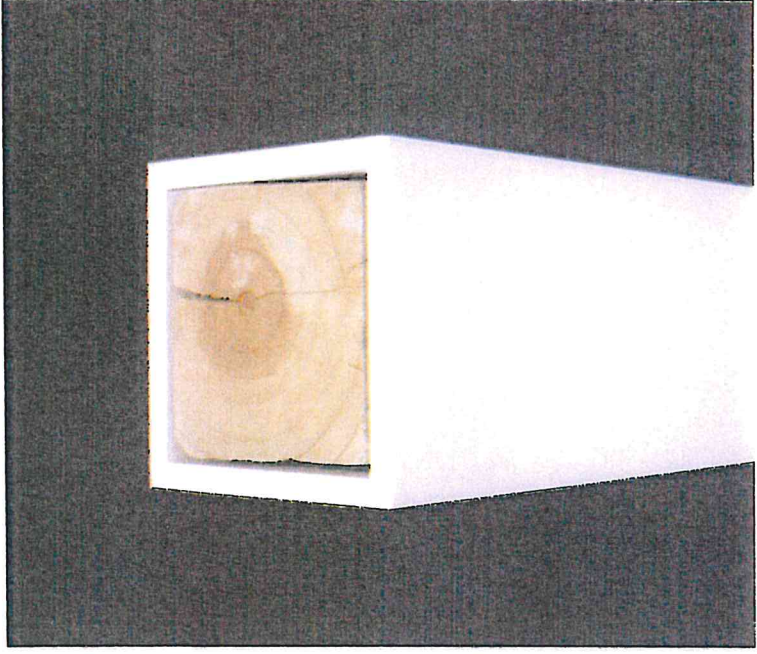
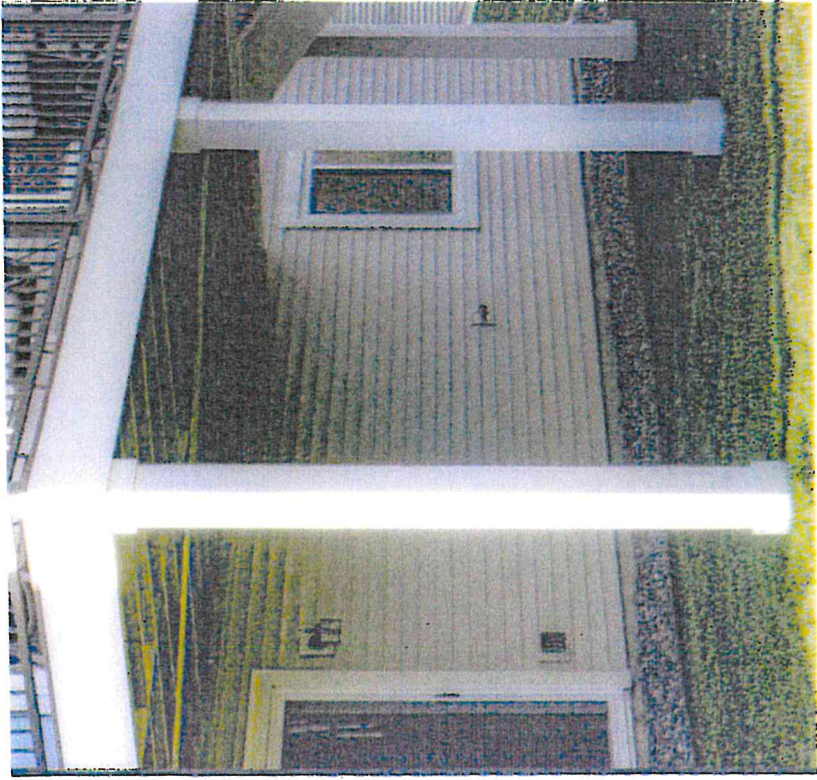
**⚠ WARNING:** Debarking, sawing, handling or installing wood products releases respirable particles and dust, a substance known to the State of California to cause cancer. Avoid breathing dust that arises in debarking or other tasks. Use appropriate precautions.

Product Literature

LP® SmartSide® Lap Siding



PVC-wrapped wood post

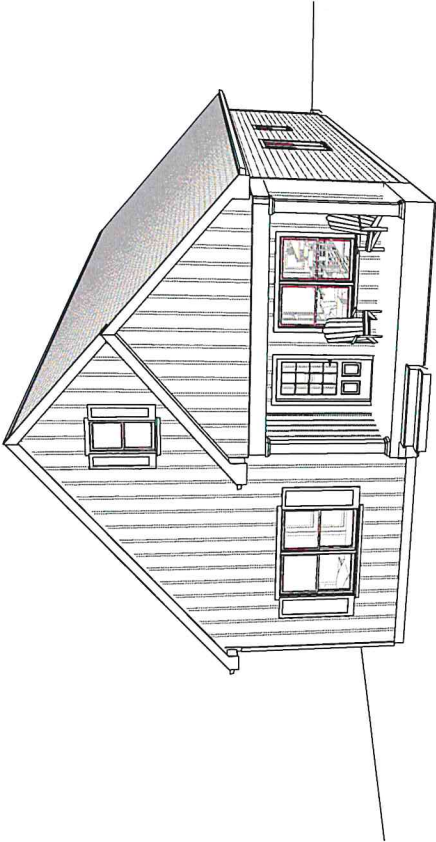




Designed to IRBC2018

Insulation / Thermal Values	
CEILINGS - R-49 BATT / BLOWN	
WALL - R-21	
U FACTOR - .32	
SHGC - .4	

LOT 4



Plan Area Totals			
BASEMENT HEATED	1,793	Sq. Ft.	
1ST FLOOR HEATED	1,793	Sq. Ft.	
Total Heated	3,586		
Garage	576	Sq. Ft.	
Front Porch	136	Sq. Ft.	
Total Unheated	712	Sq. Ft.	
Total Gross Sq. Footage	4,298	Sq. Ft.	

A0	COVER	SHEET	BRICKSTREET HOMES LLC 36 BAKERTON ROAD, SUITE 10 HARPERS FERRY, WV 25425	SCALE	FILLMORE STREET LOTS HARPERS FERRY, WV 25425
	DATE	REVISED		DRAWN BY	
	6-11-2025			APPROVED	

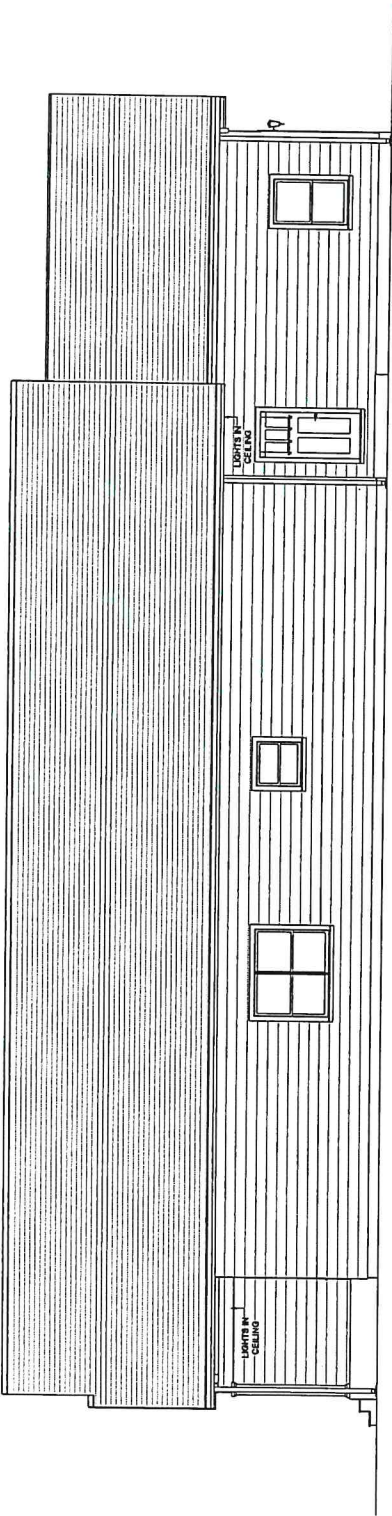




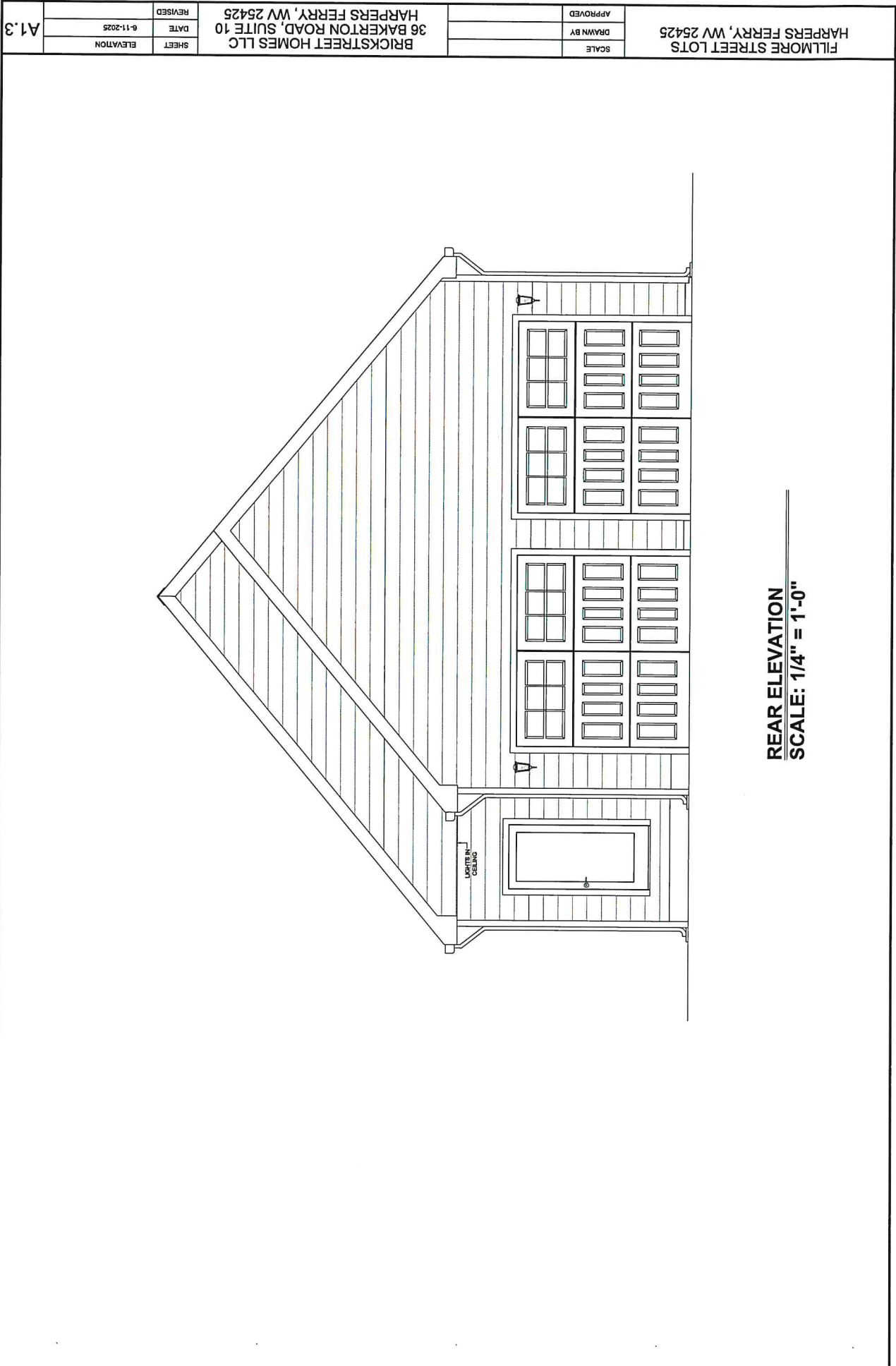


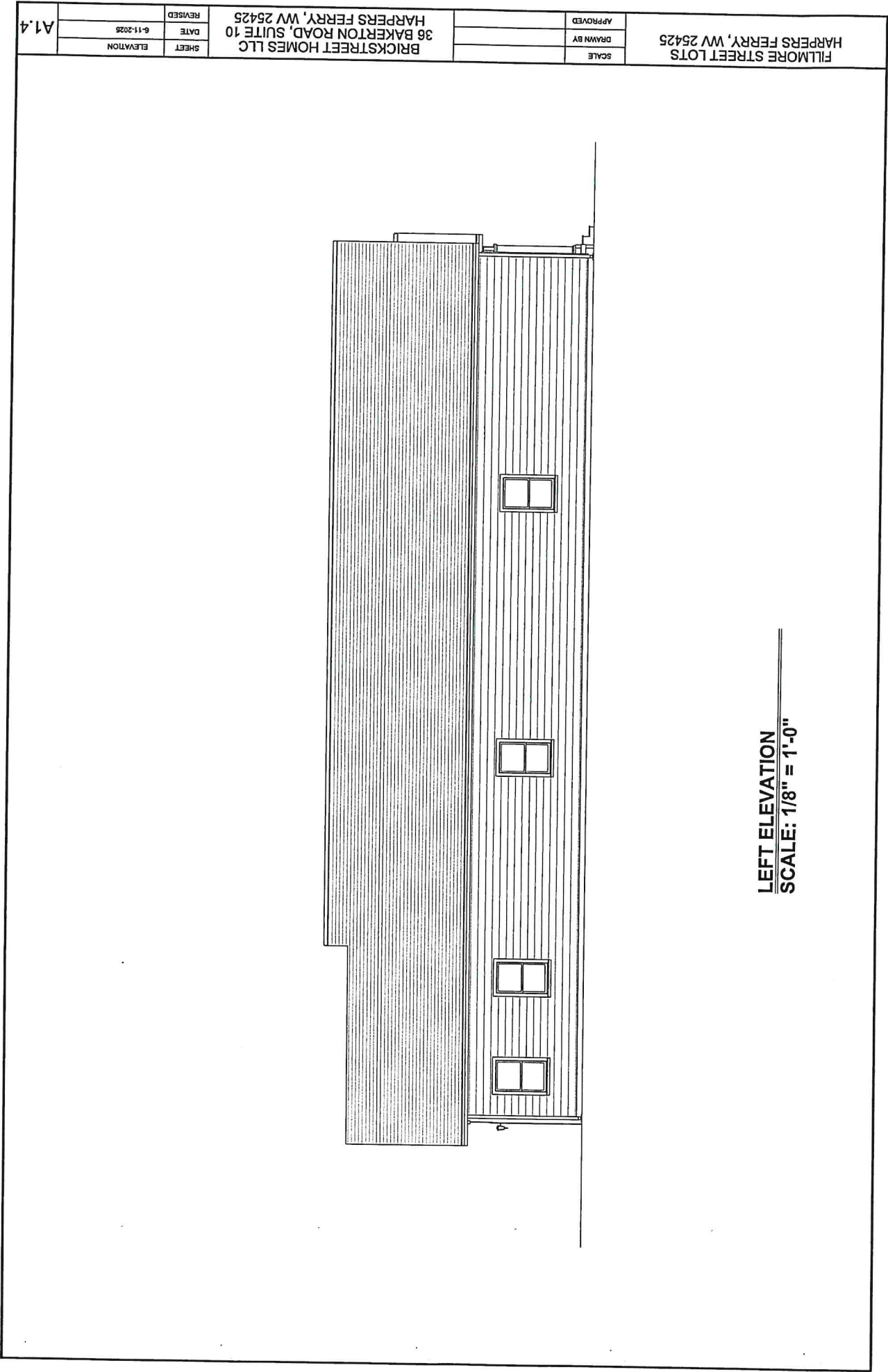
FILLMORE STREET LOTS		HARPERS FERRY, WV 25425		APPROVED		HARPERS FERRY, WV 25425	
SCALE		DRAWN BY		36 BAKERTON ROAD, SUITE 10		BRICKSTREET HOMES LLC	
SHEET		ELEVATION		DATE		REVISED	
A1.2		6-11-2025					

RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"









LEFT ELEVATION  
SCALE: 1/8" = 1'-0"

FILLMORE STREET LOTS  
HARPERS FERRY, WV 25425

SCALE  
DRAWN BY  
APPROVED

BRICKSTREET HOMES LLC  
36 BAKERTON ROAD, SUITE 10  
HARPERS FERRY, WV 25425

SHEET	REVISION
ELEVATION	DATE
	6-11-2025
	REVISED

A1.4

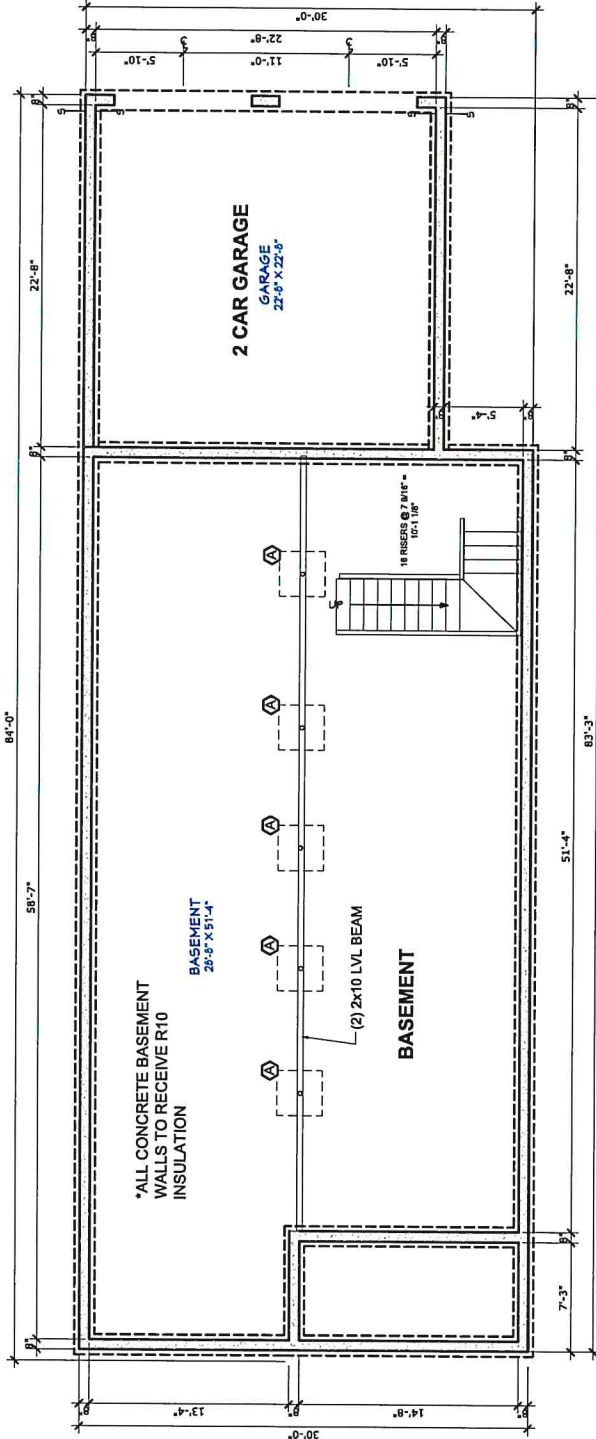


# FOUNDATION NOTES:

- 1) FOUNDATION WALLS TO BE 8" POURED CONCRETE.
- 2) CONTINUOUS CONCRETE FOOTINGS TO BE 16"x8" w/ (2) #4 HORIZ. REBARS (MIN. 3" FROM BOTTOM).
- 3) ALL EXTERIOR WALLS TO BE FRAMED w/2x6 STUDS.
- 4) ALL INTERIOR WALLS TO BE FRAMED w/2x4 STUDS UNLESS OTHERWISE SPECIFIED.
- 5) CONCRETE COMPRESSIVE STRENGTH TO BE MINIMUM 3,000 PSI.
- 6) ASSUMED SOIL BEARING PRESSURE IS 2,500 PSF.
- 7) SLOPE SLAB DOWN TO DOORS, OR INSTALL FLOOR DRAINS & SLOPE SLAB TO DRAINS.
- 8) STILL PLATE ANCHOR BOLTS SHALL BE MINIMUM 1/2" DIAMETER, SPACED @ MAXIMUM 4' O.C., & NO MORE THAN 12" FROM CORNERS OR END OF PLATES.

## KEY NOTES

- A 36x36x12 CONC. PIERS, LOLLY COLUMN
- B 24x24x12 CONC. PIERS, 6X6 PT WOOD POST
- C 8" DEEP X 12" WIDE THICKENED SLAB
- D 2X6 FRAMED WALL



## FOUNDATION PLAN SCALE: 1/8" = 1'-0"

REINFORCEMENT DETAILS FOR ALL 8" 9 1/2" HIGH FOUNDATION WALLS WITH UNBALANCED FILL THAT EXCEEDS 6' HORIZONTAL REINFORCEMENT No. 4 BAR WITHIN 12" OF TOP OF WALL STORY AND ONE No. 4 BAR NEAR THIRD POINTS IN THE WALL STORY VERTICAL REINFORCEMENTS No. 6 BAR APPROXIMATELY SPACED EVERY 32"

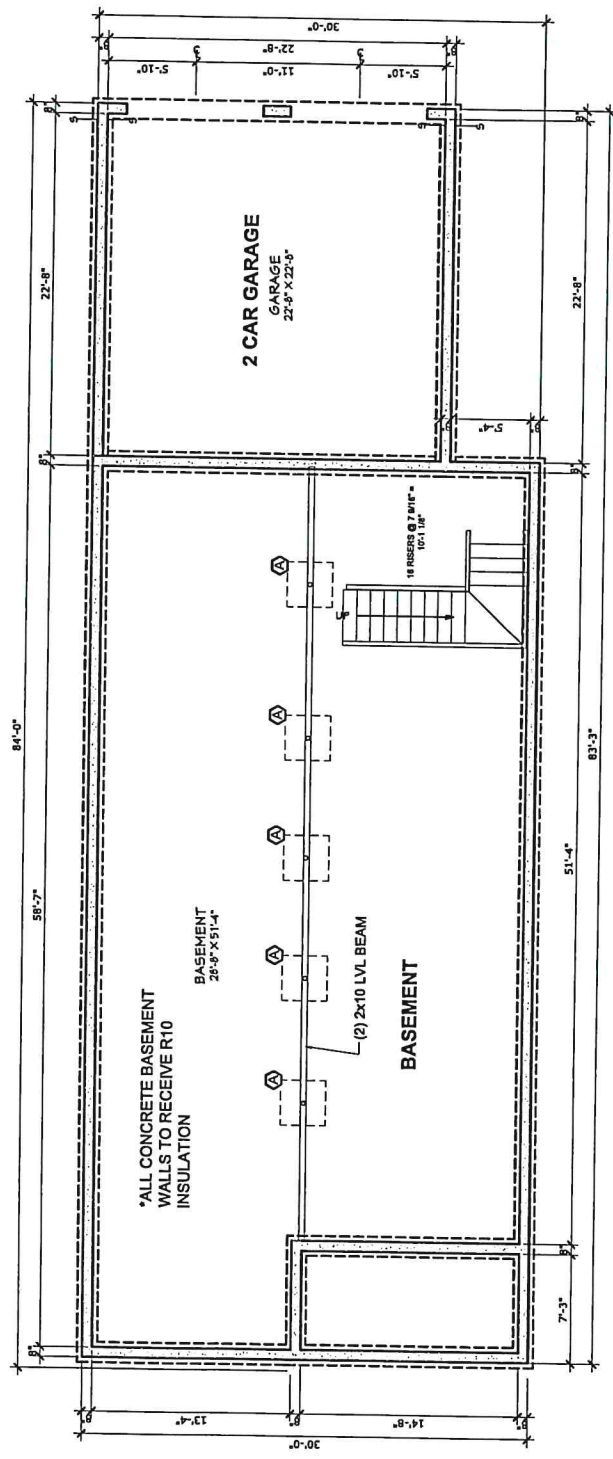
A2.1	FOUNDATION PLAN	SHEET	SCALE	DRAWN BY	APPROVED	FILLMORE STREET LOTS HARPERS FERRY, WV 25425
	6-11-2025	DATE				BRICKSTREET HOMES LLC 36 BAKERTON ROAD, SUITE 10 HARPERS FERRY, WV 25425
		REVISID				

FOUNDATION NOTES:

- 1) FOUNDATION WALLS TO BE 8" POURED CONCRETE.
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- 5) CONCRETE COMPRESSIVE STRENGTH TO BE MINIMUM 3,000 PSI.
- 6) ASSUMED SOIL BEARING PRESSURE IS 2,500 PSF.
- 7) SLOPE SLAB DOWN TO DOORS, OR INSTALL FLOOR DRAINS & SLOPE SLAB TO DRAINS.
- 8) SILL PLATE ANCHOR BOLTS SHALL BE MINIMUM 1/2" DIAMETER, SPACED @ MAXIMUM 4' O.C. & NO MORE THAN 12" FROM CORNERS OR END OF PLATES.

KEY NOTES

- Ⓐ 36x36x12 CONC. PIERS, LOLLY COLUMN
- Ⓑ 24x24x12 CONC. PIERS, 6X6 PT WOOD POST
- Ⓒ 8" DEEP X 12" WIDE THICKENED SLAB
- Ⓓ 2X6 FRAMED WALL

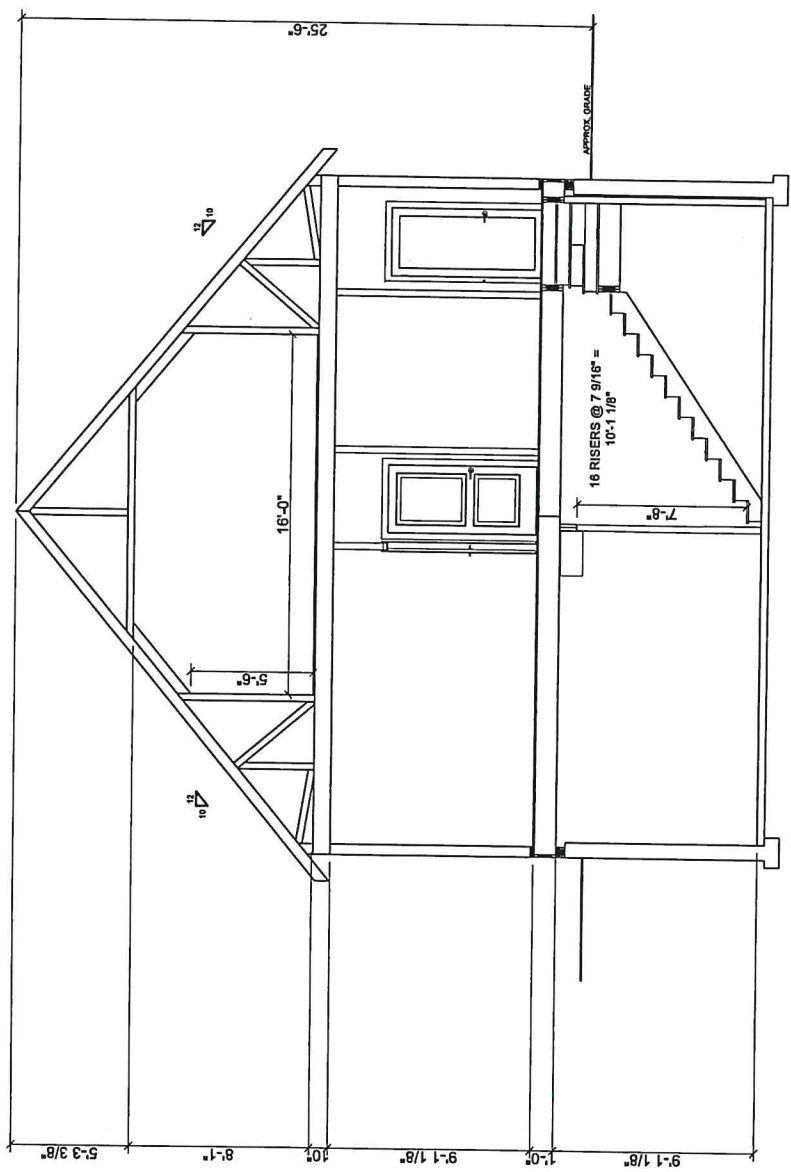


FOUNDATION PLAN  
SCALE: 1/8" = 1'-0"

REINFORCEMENT DETAILS FOR ALL 8" 12" HIGH FOUNDATION WALLS WITH UNBALANCED FILL THAT EXCEEDS 6" ABOVE FINISH GRADE: REINFORCEMENT ONE NO. 4 BAR WITHIN 12" OF TOP OF WALL STORY AND ONE NO. 4 BAR WITHIN NEAR THIRD POINTS IN THE WALL STORYVERTICAL REINFORCEMENTS NO. 8 BAR APPROXIMATELY SPACED EVERY 32"

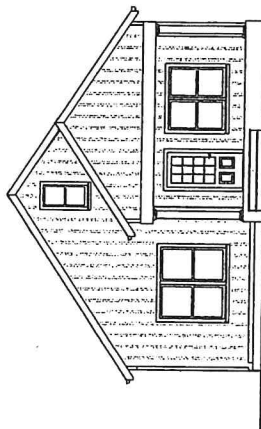


FILLMORE STREET LOTS		SCALE	DRAWN BY	APPROVED	36 BAKERSTREET HOMES LLC HARPERS FERRY, WV 25425		
HARPERS FERRY, WV 25425					SHEET	DATE	REVISED
					SECTION	6-11-2025	
					A3		

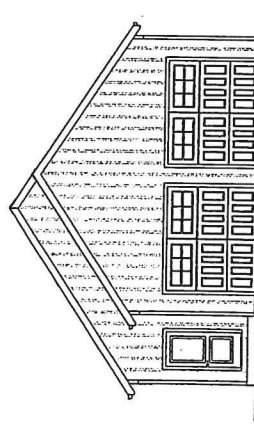


**BUILDING SECTION**  
**SCALE: 1/8" = 1'-0"**

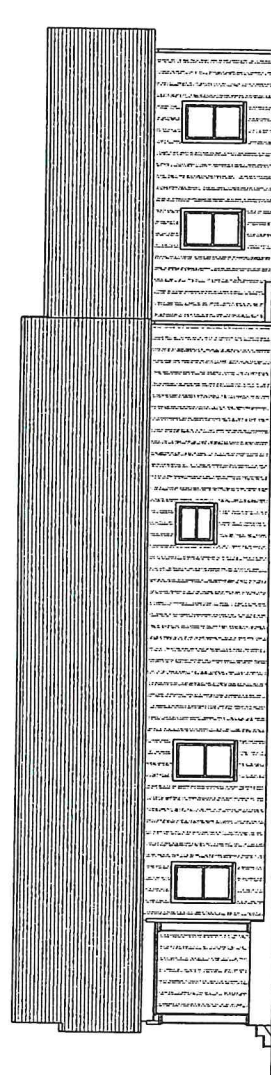
# LOT 4



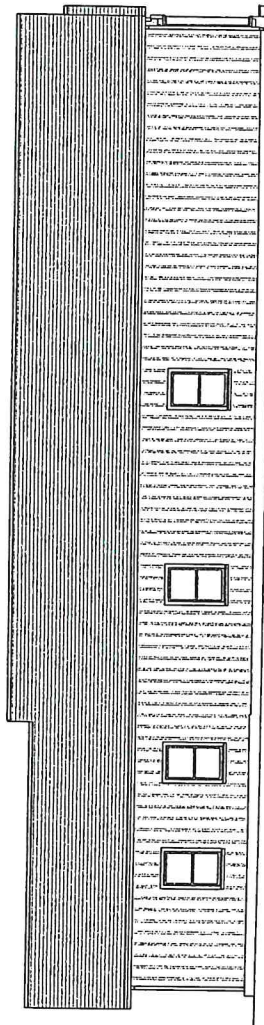
**FRONT ELEVATION**  
SCALE: 3/32" = 1'-0"



**REAR ELEVATION**  
SCALE: 3/32" = 1'-0"



**LEFT ELEVATION**  
SCALE: 3/32" = 1'-0"



**RIGHT ELEVATION**  
SCALE: 3/32" = 1'-0"

26 PA 2025 - 018

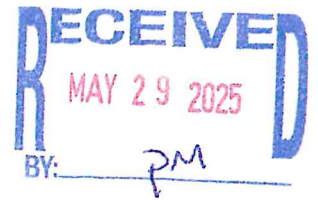
FILLMORE STREET LOTS HARPERS FERRY, WV 25425	SCALE DRAWN BY APPROVED	BRICKSTREET HOMES LLC 36 BAKERTON ROAD, SUITE 10 HARPERS FERRY, WV 25425	SHEET ELEVATIONS DATE 5-27-2024 REVISED	A1
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# Corporation of Harpers Ferry

Listed on the National Registry of Historic Places

1000 W Washington Street • P.O. Box 217 • Harpers Ferry, West Virginia 25425  
304-535-2206 • Fax: 304-535-6520



## ZONING COMPLIANCE PERMIT APPLICATION

Applicant	Name <u>Ehmer Builds, LLC</u> Mailing Address <u>36 Bakerton Rd.</u> City <u>Harpers Ferry</u> State <u>WV</u> Zip <u>25425</u> E-Mail <u>Ehmerbuilds@gmail.com</u> Daytime Telephone <u>304-671-4085</u> Evening Telephone _____	I hereby certify that (1) I am the owner or that I have the authority of the owner to make application, (2) I have read and understand the accompanying instructions, (3) the information given is correct and (4) all provisions of state and municipal laws and ordinances governing this application will be complied with, whether specified herein or not. I understand that Town staff may (1) visit and photograph the subject property, (2) perform reasonable site inspections as required to determine compliance, and (3) that this application, including all submitted documents and staff photos relating to this request, is public information and can be made available upon request. Further, I understand that any deviation from the application as requested requires the express written approval of the Ordinance Compliance Officer or the Mayor's designee. <u>David Leonard</u> Signature of Applicant Date <u>5/29/25</u>
	Owner	
Contractor	Company Name <u>Brickstreet Homes, LLC</u> Contact <u>David Leonard</u> Mailing Address <u>36 Bakerton Rd.</u> City <u>Harpers Ferry</u> State <u>WV</u> Zip <u>25425</u> E-Mail <u>david.brickstreet@gmail.com</u> Daytime Telephone <u>304-671-4085</u> Evening Telephone _____	All building contractors and sub-contractors are required to have Corporation of Harpers Ferry and State of West Virginia business licenses while working in the Town of Harpers Ferry and to remit required B&O tax for work performed (Article 735). <u>WV048240</u> <u>174</u> WV License Number _____ Harpers Ferry License Number _____ Will subcontractors be involved? <input type="checkbox"/> No <input type="checkbox"/> Yes (contact information and license information must be provided for all subcontractors on a separate sheet)
	Property	
Description of Work	Please check all of the following that apply to this project: <input checked="" type="checkbox"/> New construction (creates new structures) <input type="checkbox"/> Enlargement/On-Site Relocation (enlarges or moves an existing structure) <input type="checkbox"/> Demolition/Off-Site Relocation (removes existing structures) <input type="checkbox"/> Alteration/Reconstruction (changes in exterior materials, design or existing appearance from a street or public way) <input type="checkbox"/> Disturbs 5,000 sq. ft. of land or more	Briefly describe the work to be performed <u>Build a single family residence on the lot</u> _____ _____ _____ _____ _____

Date Received 5-29-25 Received By PM  
Fees Paid 3905.- Receipt Number 6030600  
Deposits Paid 7-1-25 BZA Case Number \_\_\_\_\_

### For Official Use Only

- ☐ Within Historic District Overlay (Part 13 App. A) ☐ Contributing Structure  
☐ Site Plan Required (1303.04(b))  
☐ Invokes Stormwater Management regulations (1713)  
☐ Within floodplain, floodway or other flood hazard area (1711, see map Town Hall)



Conditions of Approval \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
Rationale for Denial \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Application Number 2025-021

## SUPPORTING DOCUMENTATION

The following are required of all Zoning Compliance Permit Applications unless administratively waived:	Provided	Not Provided (Waiver Sought)	Waiver approved when initialed and rationale provided below by Authorized Town Official
Perspective drawings or photographs	<input type="checkbox"/>	<input type="checkbox"/>	
Exterior views and elevations drawn to scale (1/4" = 1 foot)	<input type="checkbox"/>	<input type="checkbox"/>	
Building materials list	<input type="checkbox"/>	<input type="checkbox"/>	
The following are required of all Site Plans (1303.04(c)) unless administratively waived:	Provided	Not Provided (Waiver Sought)	Waiver approved when initialed and rationale provided below by Authorized Town Official
Lot lines and easements	<input type="checkbox"/>	<input type="checkbox"/>	
Roof plan of building (i.e. view of building from above)	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing and proposed structures and permanent signs	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees 6" or greater diameter at breast height, indicating which trees are proposed to be removed and the area of disturbance (1104)	<input type="checkbox"/>	<input type="checkbox"/>	
Location of off-street parking and any loading spaces	<input type="checkbox"/>	<input type="checkbox"/>	
Location and dimensions of street and right-of-way dedications	<input type="checkbox"/>	<input type="checkbox"/>	
Location of points of entry and exits for vehicles and pedestrians and internal vehicle circulation patterns upon the property	<input type="checkbox"/>	<input type="checkbox"/>	
Location of any Fences and Retaining Walls and indication of their height and material of construction	<input type="checkbox"/>	<input type="checkbox"/>	
Location of exterior lighting devices	<input type="checkbox"/>	<input type="checkbox"/>	
Locations of all paved and Impervious Surfaces and Landscaped Areas	<input type="checkbox"/>	<input type="checkbox"/>	
Location of all new water and sewer taps and laterals	<input type="checkbox"/>	<input type="checkbox"/>	

Depending on the size and scope of project, the Board of Zoning Appeals may also require additional supporting documentation.

### For Official Use Only

**Authorized Town Official (person granting the waivers shown above and recording the inspections below)**

Name \_\_\_\_\_  
 Title \_\_\_\_\_  
 Signature \_\_\_\_\_  
 Date \_\_\_\_\_

Record of Inspections		
Inspection	Date Completed	Waived
Prior to all removals		<input type="checkbox"/>
Prior to placement of foundation or footers		<input type="checkbox"/>
When framing is completed		<input type="checkbox"/>
At project completion		<input type="checkbox"/>

Application Number 2025-021



# FEE SCHEDULE

(1303.06)

Estimated Project Cost.....\$ 358,000

Application Fee .....\$ 25 (\$25/non-refundable)

Zoning Compliance Permit and/or Site Plan Fee \$ 3581.00 (\$10 for every

\$1,000.00) Inspection Fee<sup>1</sup>.....\$ 380.00 (see guidelines below)

Floodplain Review<sup>2</sup>.....\$ - (see guidelines below)

Stormwater Technical Review Fee<sup>3</sup>.....\$ - (\$25 administrative fee; \$2000 deposit)

Total amount of fees payable to the Town .....\$ 3905.00

## New Sewer Service

Sewer Utility Service Fee payable to the Harpers Ferry Water Works  
\$ \_\_\_\_\_ (applicant to consult with HF-B PSD)

Sewer Utility Tap Fee payable to the HF-B PSD  
\$ \_\_\_\_\_ (\$350)

## New Water Service payable to the Harpers Ferry Water Works

Capital Capacity Improvement Fee.....\$ \_\_\_\_\_ (see 905.04 Rate Schedule 3)

Water Utility Tap Fee .....\$ \_\_\_\_\_ (\$750)

If the Board of Zoning Appeals determines that a subject matter expert is required, additional fees may apply<sup>4</sup>. For projects greater than \$1.5 million, request Fee Schedule Addendum from Town Clerk. Zoning Compliance Permits are valid for two years. Upon written application to the Ordinance Compliance Officer or the Mayor's designee, extensions for permits about to expire may be granted. There is a fee of \$25.00 for each permit extension.

### <sup>1</sup> Guidelines for Inspection fees:

- (A) For an application with an estimated project cost less than \$500.00, the inspection fee is \$25.00 per inspection (maximum three inspections);
- (B) For an application with an estimated project cost from \$500.00 to \$2,000.00, the inspection fee is 0.05 times the estimated project cost per inspection (maximum three inspections);
- (C) For an application with an estimated project cost of over \$2,000.00, the inspection fee is \$100.00 per inspection (maximum three inspections);

A minimum deposit for two inspections is required at the time of application. For complex projects, additional inspections may be required, but a maximum deposit for no more than three inspections may be required at the time of application. Inspections for compliance with the permit application are required (1) prior to all removals, (2) prior to placement of foundation or footers, (3) when framing is completed, and (4) at project completion. Inspection fees are refunded for waived inspections.

### <sup>2</sup> Guidelines for Floodplain Review fees:

An application for proposed development determined to be occurring in an identified floodplain, floodway or other flood hazard area must be accompanied by an additional fee based upon the estimated value of the proposed construction at the following rate:

Type of Development	Fee
1 & 2 family dwelling	\$1.00 per \$1,000.00
Accessory structures	\$1.00 per \$1,000.00
Any other structure	\$1.00 per \$1,000.00
Site plans, grading & filling (additional fee)	\$50.00 per acre or part thereof
Floodway development reviews	\$1.00 per \$1,000.00

The Floodplain Administrator may determine a different value for the proposed construction and apply the above rates for an adjusted fee amount.

### <sup>3</sup> Stormwater Technical Review Deposit

If the cost of the technical review exceeds the initial \$2,000 deposit, an additional \$2,000 deposit will be required.

### <sup>4</sup> Guidelines for Deposits

- (A) The Board of Zoning Appeals may require expert consultants to evaluate your application. If so, you will be informed in writing that such a deposit is required before approval can be made.
- (B) For an application within the floodplain, the Floodplain Administrator may require a deposit. If so, you will be informed in writing that such a deposit is required before approval can be made.

Application Number 2025-021

Rev. 03-2023

## INSPECTIONS

To schedule an inspection, call the Town Hall during regular business hours. Please have the following information ready before calling to schedule an inspection:

1. Owner name, address and/or block & lot number.
2. Type of inspection requested (removal, foundation or footers, framing, or final)
3. Name and phone number of the person scheduling the inspection.

Inspections scheduled by close of a Town business day will be performed within the next two business days (48 hours).

NO APPOINTMENTS WILL BE MADE FOR INSPECTIONS.

ALL WORK SCHEDULED FOR INSPECTION MUST BE COMPLETED AND READY FOR INSPECTION BY 8:00 A.M. THE FOLLOWING DAY. INCOMPLETE WORK IS SUBJECT TO REJECTION AND PAYMENT OF A REINSPECTION FEE PRIOR TO RESCHEDULING OF THE INSPECTION.

TOWN INSPECTIONS DO NOT COVER FIRE, SAFETY OR BUILDING CODES. FOR THOSE INSPECTIONS NOT REQUIRED BY THE TOWN, WE STRONGLY RECOMMEND THAT THE APPLICANT ENLIST THE SERVICES OF A PROFESSIONAL INSPECTOR.



# INSTRUCTIONS

Provide the Zoning Compliance Permit Application form with all the information completely filled-in.

Please provide one printed copy of this application with all supporting documentation to Town Hall. An equivalent set should also be sent electronically.

The permit fee and any deposit amounts required (check or money order) are payable to the Corporation of Harpers Ferry must accompany the application before the application will be considered.

Your permit will be considered only after the Zoning Compliance Permit Application is complete and all applicable fees are paid. Allow approximately ten (10) business days for administrative review after all of the above items are received by this office. An application which cannot be approved administratively by the Ordinance Compliance Officer or Mayor's designee will be forwarded to the Board of Zoning Appeals. To avoid delay, we recommend that applications be submitted and paid in full by the first Monday of the month to be considered by the Commission(s).

The permit holder is required to pay any necessary Jefferson County impact fees directly to the county before the Corporation of Harpers Ferry will issue the applicant their final project permit. Proof of payment is required by the Town. The Jefferson County Department of Impact Fees may be reached at 304-728-3331.

Newly constructed homes require a "911 address" be assigned to them by Jefferson County. Information about 911 addresses may be obtained at 304-724-6759.

Block and lot numbers can be found on the S. Howell Brown maps in the Town Hall or at the county clerk's office in Charles Town. Tax map and parcel number can be found on the tax assessor's map. A parcel is composed of one or more lots. In the assessor's map, block numbers are shown in a dashed circle and lot numbers are in parentheses. The parcel number is inside a solid oval. Dashed lot lines indicate lots included in a larger parcel, bounded by solid lines. Deed book and page number can be found by clicking on the Jefferson County Document Inquiry link at <https://jeffersoncountywv.org>.

You must comply with the Historic District Standards and Guidelines (Part 13 Appendix A, copies available at Town Hall and on the Town website).

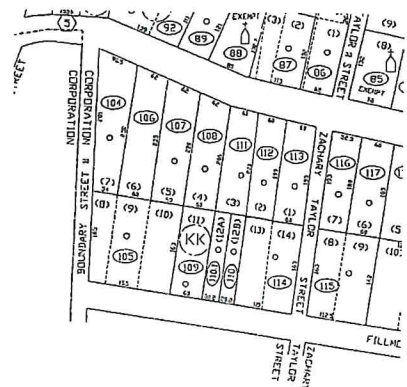
For Zoning Compliance Permit approval, a Site Plan is also required except for:

1. Projects approved at the administrative level by the Ordinance Compliance Officer or the Mayor's designee;
2. The relocation of any residential accessory building or structure less than 500 square feet in area and when such building or structure is relocated within 100 feet of its then existing location and on the same lot and is within setbacks; or
3. Projects where the existing footprint of the structure is not disturbed.

For all projects requiring a Site Plan and which are valued over \$100,000, you must comply with the Standards for Project Activities (Part 13 Appendix B, copies available at Town Hall and on the Town website).

The construction of one single-family residence, or additions or modifications to existing single-family residential structures are exempt from the Stormwater Management ordinance. However:

1. The property owner is responsible for preventing soil accumulation on the road surface as a result of the construction, addition, or modification.
2. The property owner must prevent sediment and runoff drainage from impacting neighboring properties as a result of the construction, addition, or modification.
3. By signing this application form, the applicant attests to the following: "In lieu of submission of a Stormwater Management Plan for the construction of this single-family dwelling, I agree to comply with any reasonable requirements determined necessary by employees of the Corporation of Harpers Ferry in accordance with published Harpers Ferry Standards for Construction Activities. Such requirements are based on the conservation standards contained in the Town's Stormwater Management Ordinance and represent the minimum practices necessary to provide adequate control of erosion and sedimentation on or resulting from the project. I further understand that failure to comply with such requirements following notice by the representatives of the Town could result in a citation for violation of the Stormwater Management Ordinance."



PLAT NORTH  
REFERENCE: D.B. 366 PG. 396

BENJAMIN BUCKLEY  
TAX MAP 4, PARCEL 1  
D.B. 1229 PG. 693  
ZONED: RHD

EX. SANITARY  
SEWER MAIN

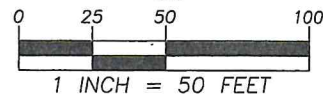
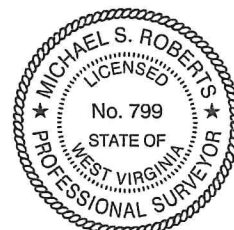
BENJAMIN BUCKLEY  
TAX MAP 4, PARCEL 2  
D.B. 1227 PG. 346  
ZONED: RHD

JOSE JAVIER RODRIGUEZ  
TAX MAP 4, P/O PARCEL 5  
D.B. 1305 PG. 563  
(LOT 3)  
ZONED: RHD

UNITED STATES OF AMERICA  
TAX MAP 4, PARCEL 10  
D.B. 256 PG. 55  
NATIONAL PARK

### AREA TABULATION

LOT 4	8,063 SQ.FT.
LOT 5	8,063 SQ.FT.
LOT 8	16,837 SQ.FT.
LOT 9	16,837 SQ.FT.
<b>TOTAL</b>	<b>49,400 SQ.FT.</b>



### LEGEND

RBF	REBAR (FOUND)
MON	NPS MONUMENT
IPF	IRON PIPE (FOUND)
⊙	SANITARY MANHOLE
CRBS	CAPPED REBAR (SET)
RHD	RESIDENTIAL/HISTORIC DISTRICT

DATE: 02-14-24  
REV.: 05-02-24  
DRAWN: JMR  
CHECKED: MSR  
SCALE: 1"=50'

**ROBERTS LAND SURVEYING**  
2068 PALMER ROAD - HEDGESVILLE, WV 25427  
304.671.5406 miker002395@frontier.com

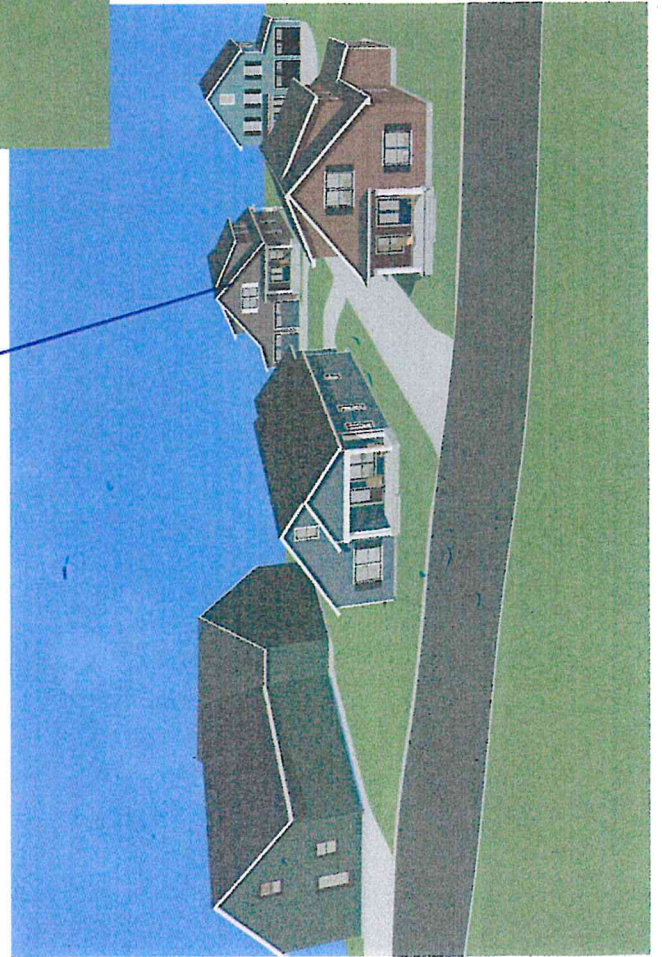
20 PA  
2025-  
021



lot 9  
Rear  
View



lot 9  
Front  
View



ZC PA 2025-021

## **Exterior Finishes**

### **Roofing**

- **Architectural Shingles**
  - Ridge Vent System
  - Synthetic Roofing Underlayment
  - Drip Edge (aluminum)
  - Ice and Water Shield – Valleys and eaves

### **Siding**

- **LP SmartSide Lap Siding or Board and Batten** – Primed or prefinished
- Corner trim – PVC Boards

### **Windows**

- **Wood Clad Windows**
  - Single or Double pane, Low-E Argon filled
  - Nail flange or flange-less depending on installation method
  - Window flashing tape per manufacturer's instructions
  - **All window trim to be PVC trim**

### **Soffit & Fascia**

- **Vinyl Vented Soffit Panels** – White or color matched
- **Aluminum Fascia Trim** – Prefinished coils

### **Porch Elements**

- **Vinyl Porch Posts / Columns** – Load-bearing if structural
- Post skirts and top trim
- Pressure-treated framing under porch
- Composite or treated porch decking
- Aluminum railing to look like iron



Windows



SOLD BY:

84 Lumber Company #0435 Ranson  
AP Dept Bldg #3 - 1019 Route 519  
Eighty Four, PA 15330-2813  
Fax: 919-790-6270

SOLD TO:

CREATED DATE	11/5/2024
--------------	-----------

LATEST UPDATE	11/7/2024
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OWNER	TRAVIS LAFOND
-------	---------------

Abbreviated Quote Report

TRADE ID

CUSTOMER PO#

QUOTE NUMBER

PROJECT NAME

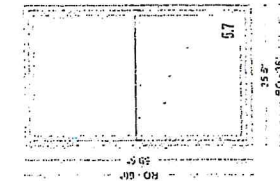
MY SUPPLIES 3050

Unassigned Project

6690562

ORDER NOTES:

DELIVERY NOTES:



Item Qty

100 16

Operation

AA

Location

None Assigned

RO Size: 36" x 60"

Unit Size: 35 1/2" x 59 1/2"

244DH3050, Unit, 200 Series Tilt-Wash Double-Hung, Equal Sash, 3 1/4" Frame Depth, White Exterior Frame, White Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, AA, Dual Pane Low-E Standard Argon Fill White (Factory Applied), White, Full Screen, Fiberglass Wrapping: 6 9/16" Interior Extension Jamb Pine / White - Vinyl Wrapped Standard Complete Unit Extension Jambs, Factory Applied

Insect Screen 1: 200 Series Tilt-Wash Double-Hung, 244DH3050 Full Screen Fiberglass White PN:0833332

Unit #	U-Factor	SHGC	ENERGY STAR Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.3	0.32	NO	A1	32.5600	26.9500
						6.09000

Quote #: 6690562

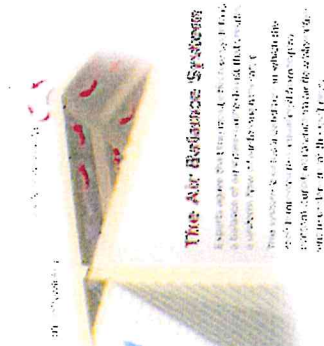
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All Images Viewed from Exterior

# Vented Soffiting

## PROPER VENTILATION IS VITAL

Proper ventilation keeps your home cool in the summer, warm in the winter, and eliminates excess moisture and energy wastes.



## CertainTeed Perimeter Soffit Panels - Triple 3-1/8 inch

★★★★★ [Click Here For a List of all CertainTeed Products](#)

**CertainTeed** Click Here For a List of all CertainTeed Products

### Features

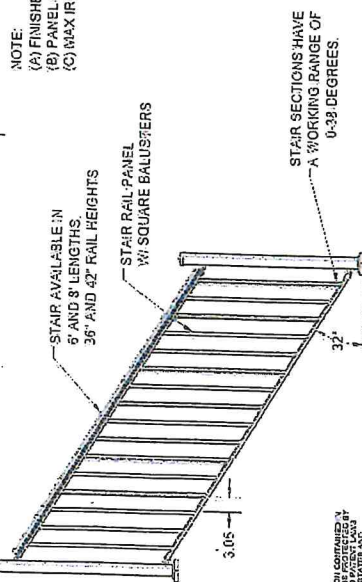
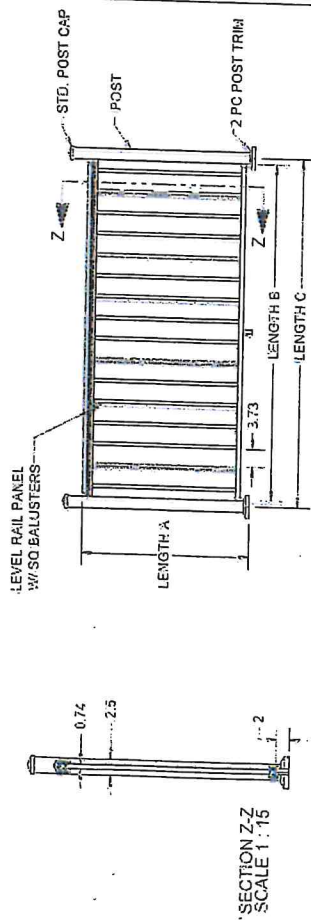
- Easy to install, no glue or nails
- Provides a smooth, flat non-perforated surface versus most vented soffits with unsightly perforations
- Low gloss finish that is Spectrophotometer controlled and utilizes exclusive Permatex color science
- Matte Finish
- Class 1A fire rating
- Lifetime limited warranty





# Railing

## AVALON ALUMINUM RAIL AND BALUSTER DETAILS



NOTE:  
 (A) FINISHED RAIL HEIGHT = 36", 42"  
 (B) PANEL LENGTH = 71.5", 95.5"  
 (C) MAX IRC AND IRC SPANS = 96.5" X 36", 96.5" X 42"

ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF AVALON RAILING AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT PERMISSION IN WRITING FROM AVALON RAILING, INC.



# Shingles

General			
Color/Finish Family	Color	Series/Name	Manufacturer
Manufacturer Color/Finish	Product	Type	Acoustic Rating
Applications			
Bundled per 100 Sq Ft	5	Shingle Length (inches) (Common)	30.6
Coverage Area per Package Quantity	33.33	Shingle Width (inches) (Actual)	15.5
Coverage Area Unit of Measure	Square Ft.	Shingle Width (inches) (Common)	33.7
Shingle Length (inches) (Actual)	40		

Features			
Algae Resistant	4	Material	Asph/Flt
Approximate Surface Coverage	33.33 sq ft	Package Type	Bundled
Fire Rating	Class A	Underlayment Required	Yes
Impact Resistance	30	Wind Rating (MPH)	110
Laminated	Yes		

## Integrity Roof System

Six-Step to a Complete Waterproofed and Protected Roofing and Gutter System

1. Waterproofing Underlayment
2. Water-Resistant Underlayment
3. Starter Shingles
4. Shingles
5. Ventilation
6. Hip & Ridge





# Siding



## Application Instructions

33 AND 76 SERIES  
BRUSHED SMOOTH OR CEDAR TEXTURE  
PRIMED LAP SIDING

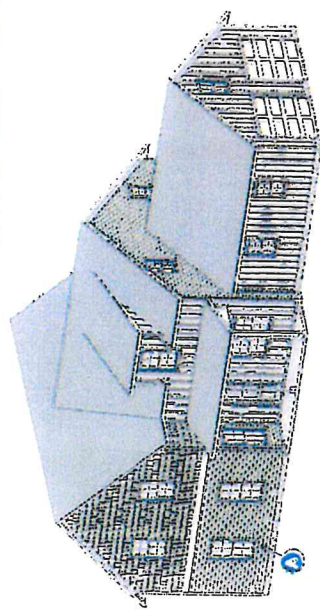
LOUISIANA-PACIFIC CORPORATION PERIODICALLY UPDATES AND REVISES ITS PRODUCT INFORMATION AND APPLICATION INSTRUCTIONS. WARRANTY REMEDIES ARE NOT AVAILABLE IF THESE APPLICATION INSTRUCTIONS ARE NOT FOLLOWED. THE INFORMATION IN THIS DOCUMENT IS SUBJECT TO CHANGE WITHOUT NOTICE.  
FACIAL LP SMARTSIDE® PRODUCT LITERATURE AT [LP.COM/OWNERS](http://LP.COM/OWNERS)

LP® SmartSide® Trim and Siding is covered under the LP® SmartSide®-Prorated 50-Year Limited Warranty. Refer to the warranty, which is available online, for complete terms and conditions. Product must be transported, stored, handled, installed, finished, and maintained in accordance with all published application, finishing, and maintenance instructions and technical notes and bulletins (collectively, "Instructions") in effect at the time of installation.

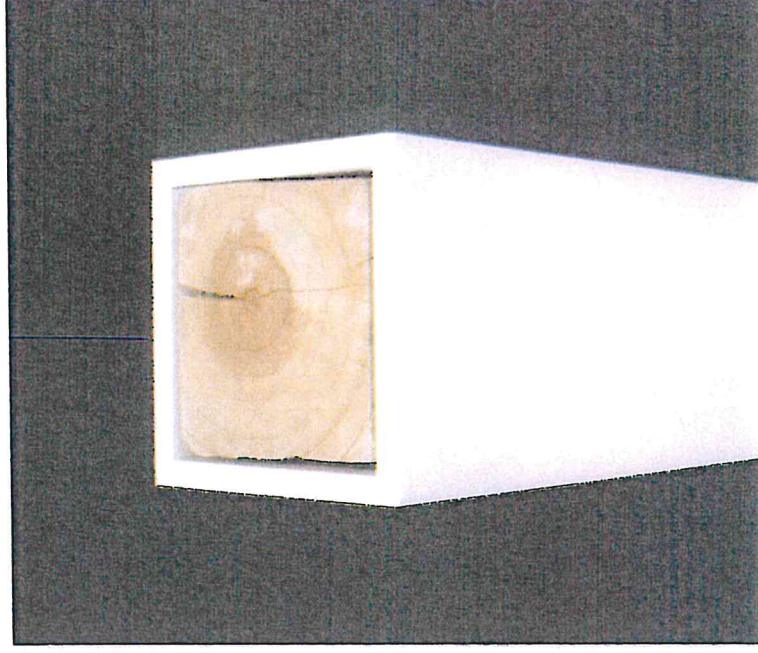
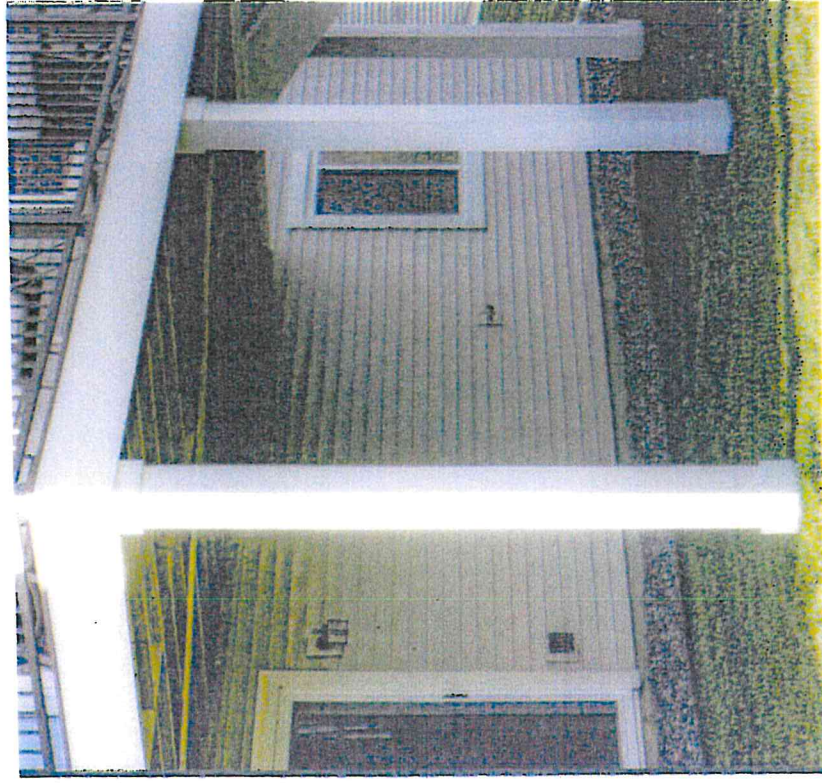
Failure to follow such Instructions will make the Limited Warranty inapplicable as to the products affected by such failure. No modification or exception to these Instructions and no non-published recommendations are valid unless issued in writing on a project-specific basis by LP's Director of Technology prior to application. Always check and comply with local building codes. Where conflicts occur among the Instructions, applicable codes or referenced standards, the designer of record, or an authority having jurisdiction, the most restrictive requirement shall apply. Regardless of sheathing type or configuration of wall assembly components, LP's liability for the performance of the product is limited as expressly provided in the Limited Warranty.

**⚠ WARNING:** Drilling, sawing, sanding or modifying wood products can release particles which, when inhaled, are a health hazard known as the "Sawdust Effect". To minimize exposure, avoid breathing wood dust, wear a dust mask or other safeguards for personal protection. For more information go to [LP.COM/owners](http://LP.COM/owners), or contact LP.

Related Literature



PVC-wrapped wood post





Designed to IRBC2018

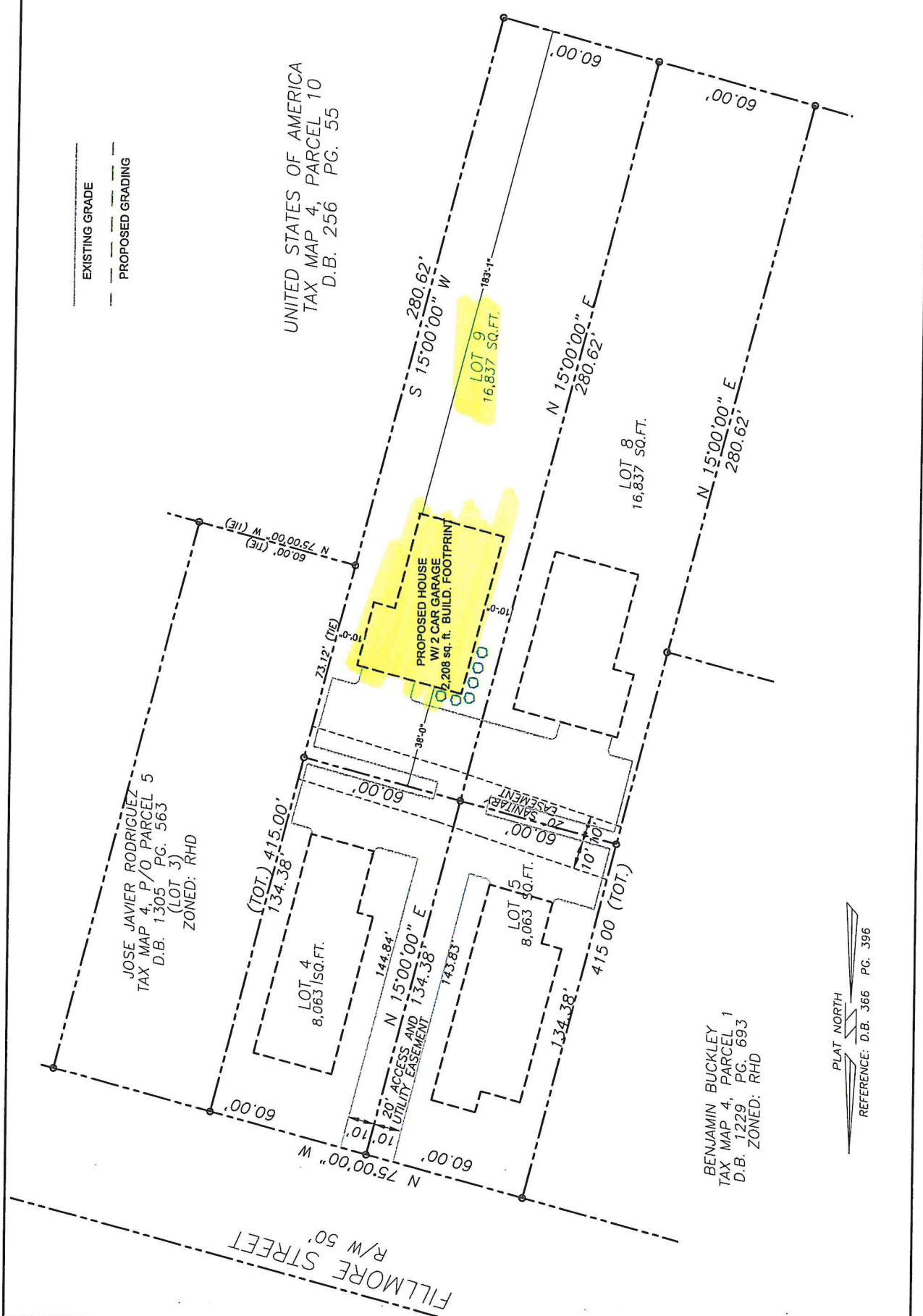
Insulation / Thermal Values	
CEILINGS - R-49 BATT / BLOWN	
WALL - R-21	
U FACTOR - .32	
SHGC - .4	

LOT 9



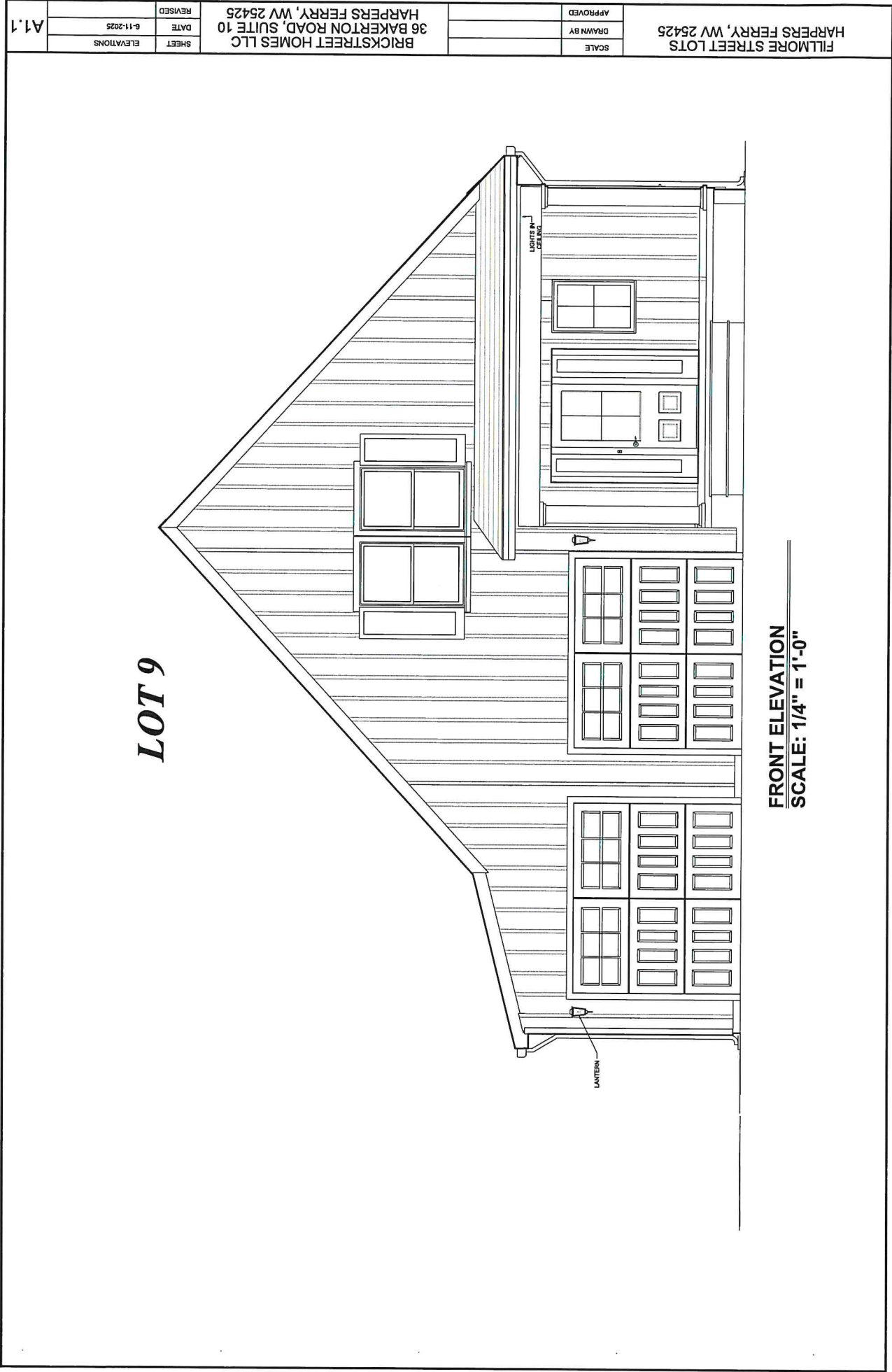
Plan Area Totals			
BASEMENT HEATED	1,416	Sq. Ft.	
1ST FLOOR HEATED	1,416	Sq. Ft.	
2ND FLOOR HEATED	1,150	Sq. Ft.	
Total Heated	3,982		
Garage	576	Sq. Ft.	
Front Porch	136	Sq. Ft.	
Rear Deck	356	Sq. Ft.	
Total Unheated	1,068	Sq. Ft.	
Total Gross Sq. Footage	5,052	Sq. Ft.	

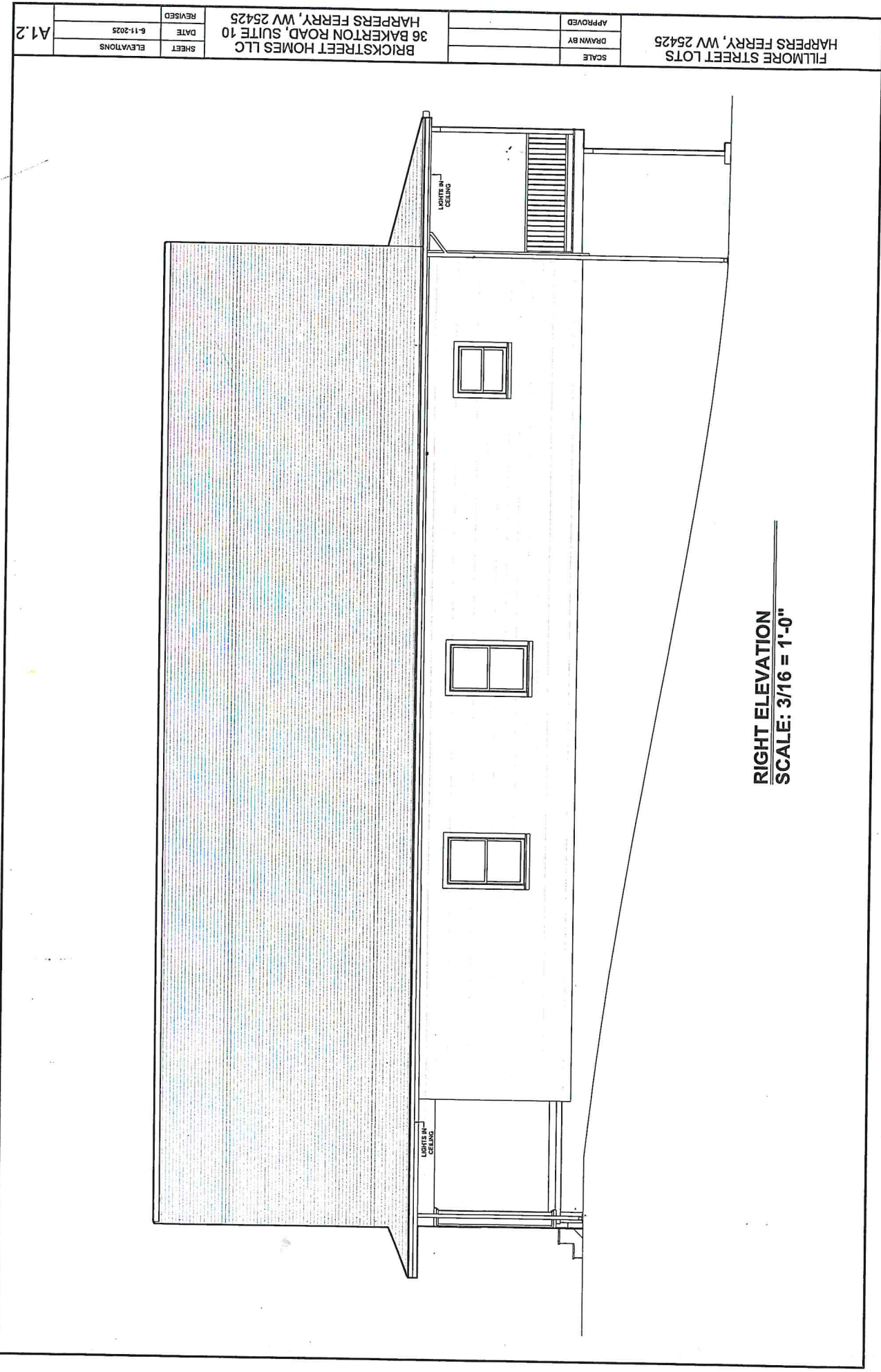
A0	FILLMORE STREET LOTS		SCALE	—	BRICKSTREET HOMES LLC 36 BAKERTON ROAD, SUITE 10 HARPERS FERRY, WV 25425	HARPERS FERRY, WV 25425	
	HARPERS FERRY, WV 25425		DRAWN BY			APPROVED	
			SHEET	COVER		DATE	
				8-11-2025		REVISED	



REFERENCE: D.B. 366 PG. 396







RIGHT ELEVATION  
SCALE: 3/16" = 1'-0"

FILLMORE STREET LOTS  
HARPERS FERRY, WV 25425

SCALE  
DRAWN BY  
APPROVED

BRICKSTREET HOMES LLC  
36 BAKERTON ROAD, SUITE 10  
HARPERS FERRY, WV 25425

SHEET  
ELEVATIONS  
DATE  
6-11-2025  
REVISED

A1.2





REAR ELEVATION  
SCALE: 3/16" = 1'-0"

FILLMORE STREET LOTS  
HARPERS FERRY, WV 25425

SCALE  
DRAWN BY  
APPROVED

BRICKSTREET HOMES LLC  
36 BAKERTON ROAD, SUITE 10  
HARPERS FERRY, WV 25425

SHEET  
ELEVATIONS  
DATE  
6-11-2025  
REVISED

A1.3



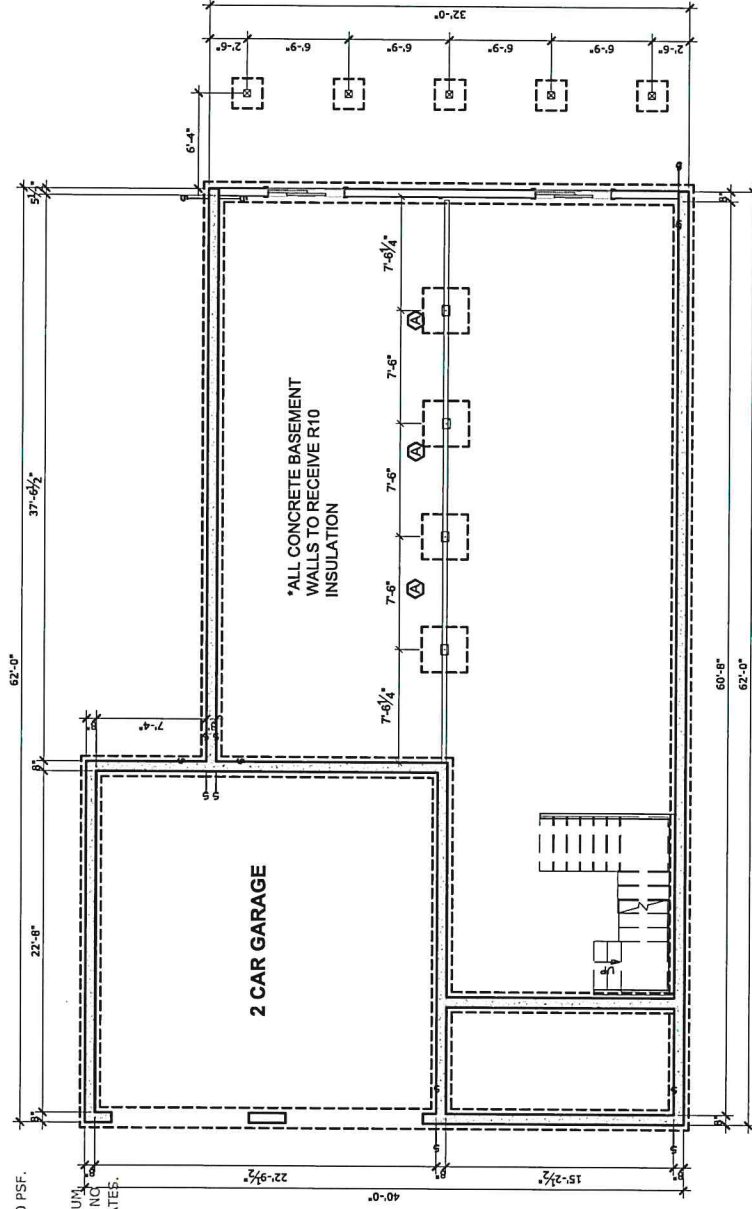


FOUNDATION NOTES:

- 1) FOUNDATION WALLS TO BE 8" POURED CONCRETE.
- 2) CONTINUOUS CONCRETE FOOTINGS TO BE 16"x8" w/ (2) #4 HORIZ. REBARS (MIN. 3" FROM BOTTOM).
- 3) ALL EXTERIOR WALLS TO BE FRAMED w/2x6 STUDS.
- 4) ALL INTERIOR WALLS TO BE FRAMED w/2x4 STUDS UNLESS OTHERWISE SPECIFIED.
- 5) CONCRETE COMPRESSIVE STRENGTH TO BE MINIMUM 3,000 PSI.
- 6) ASSUMED SOIL BEARING PRESSURE IS 2,500 PSF.
- 7) SLOPE SLAB DOWN TO DOORS, OR INSTALL FLOOR DRAINS & SLOPE SLAB TO DRAINS.
- 8) SILL PLATE ANCHOR BOLTS SHALL BE MINIMUM 1/2" DIAMETER, SPACED @ MAXIMUM 4' O.C., & NOT MORE THAN 12" FROM CORNERS OR END OF PLATES.

KEY NOTES

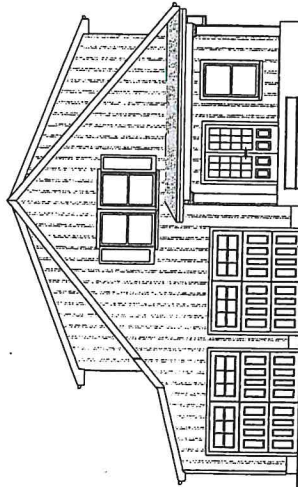
- A 36x38x12 CONC. PIERS, LOLLY COLUMN
- B 24x24x12 CONC. PIERS, 6X6 PT WOOD POST
- C 8" DEEP X 12" WIDE THICKENED SLAB
- D 2X6 FRAMED WALL



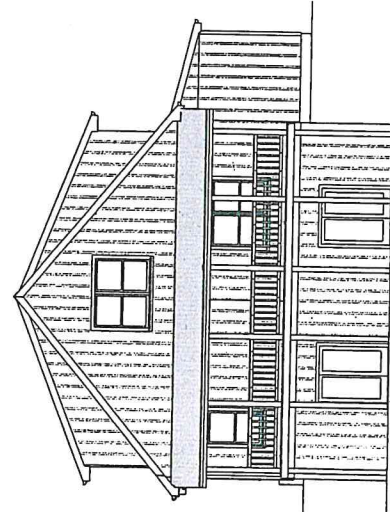
FOUNDATION PLAN  
SCALE: 1/8" = 1'-0"

REINFORCEMENT DETAILS FOR ALL 8" 9 1/2" HIGH FOUNDATION WALLS WITH UNBALANCED FILL THAT EXCEEDS 6' HORIZONTAL REINFORCEMENT ONE No. 4 BAR WITHIN 12" OF TOP OF WALL STORY AND ONE No. 4 BAR NEAR THIRD POINTS IN THE WALL STORY VERTICAL REINFORCEMENTS No. 6 BAR APPROXIMATELY SPACED EVERY 32"

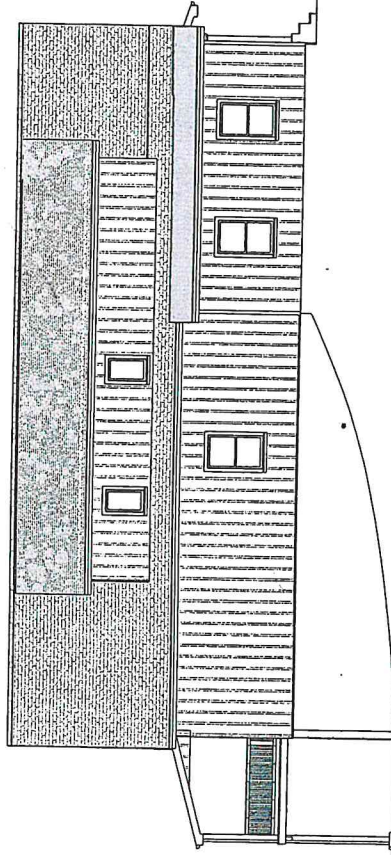
# LOT 9



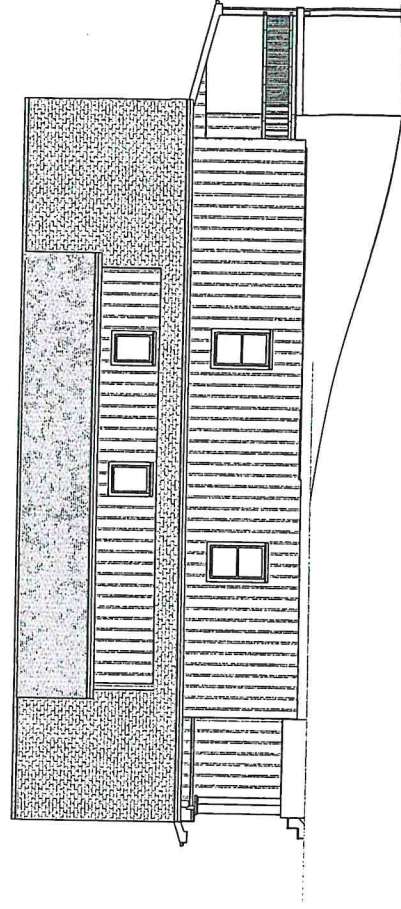
FRONT ELEVATION  
SCALE: 3/32" = 1'-0"



REAR ELEVATION  
SCALE: 3/32" = 1'-0"



LEFT ELEVATION  
SCALE: 3/32" = 1'-0"



RIGHT ELEVATION  
SCALE: 3/32" = 1'-0"

Zc PA 2025.021

FILLMORE STREET LOTS HARPERS FERRY, WV 25425		APPROVED DRAWN BY SCALE		BRICKSTREET HOMES LLC 36 BAKERTON ROAD, SUITE 10 HARPERS FERRY, WV 25425		REVISID DATE SHEET ELEVATIONS 1		A1
						5-27-2025		